

**FINAL**

**CULTURAL RESOURCE ASSESSMENT  
SURVEY UPDATE  
TECHNICAL MEMORANDUM**

**US 301 (SR 41) FROM SR 39  
TO SOUTH OF CR 54,  
PASCO COUNTY, FLORIDA**

**WPI Segment No.: 256422-1**

**FAP No.: N/A**

**Prepared for:**

**Florida Department of Transportation  
District Seven  
11201 North McKinley Drive  
Tampa, Florida 33612-6456**

**October 2010**

**VOLUME I of II**

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11201 North McKinley Drive  
Tampa, Florida 33612-6456**

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**October 2010**

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**CULTURAL RESOURCE ASSESSMENT SURVEY  
UPDATE TECHNICAL MEMORANDUM  
US 301 (SR 41) FROM SR 39  
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PASCO COUNTY, FLORIDA**

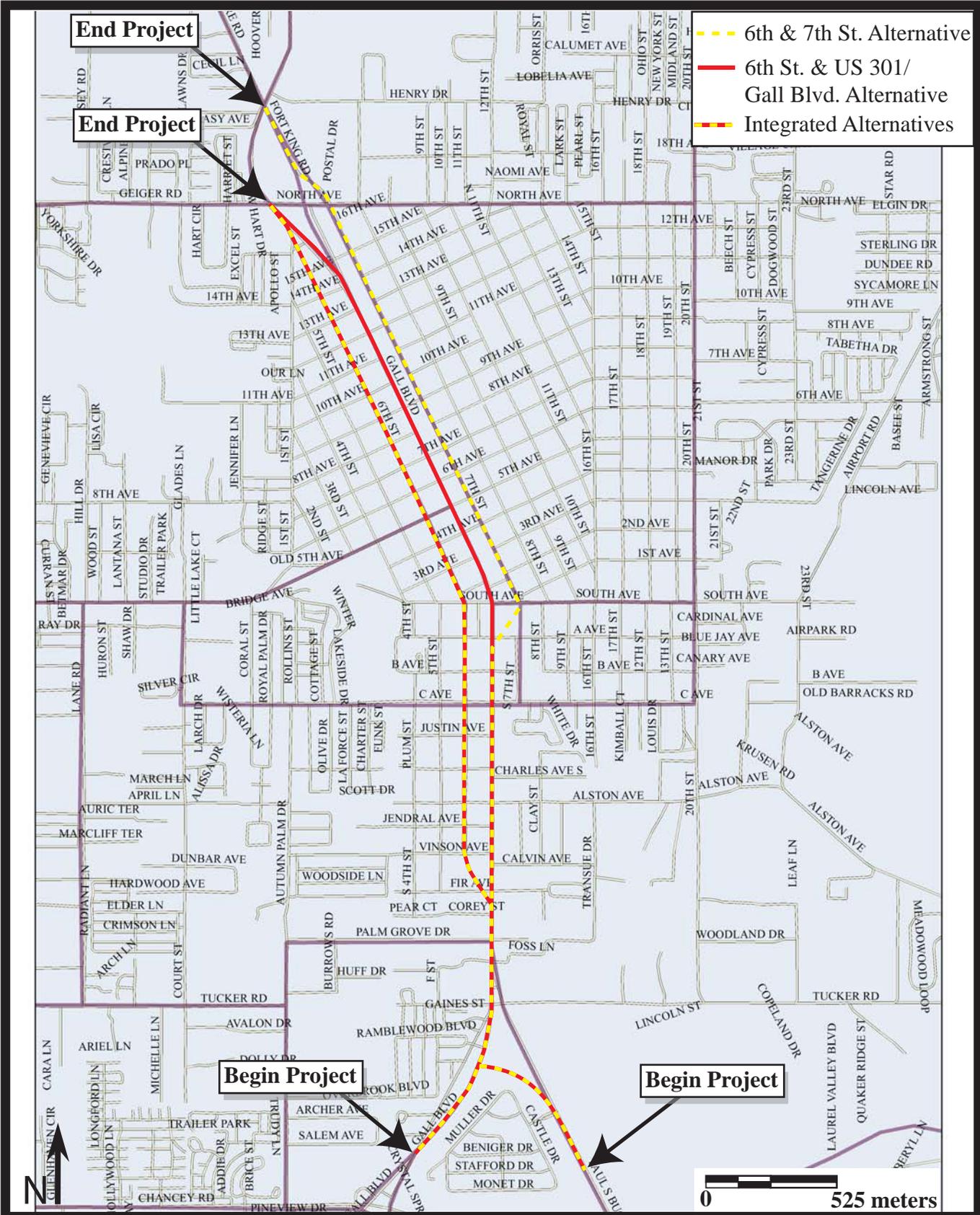
**1.0 INTRODUCTION**

A cultural resource assessment survey (CRAS) update of US 301 (State Road [SR] 41) from SR 39 to south of County Road (CR) 54 in Pasco County, Florida was performed by Archaeological Consultants, Inc. (ACI) in July 2010. The project corridor, which extends a distance of approximately 2.6 miles, passes through the central business district of the City of Zephyrhills (**Figure 1**). Work included a literature review and background research, and archaeological and historical/architectural field surveys. Archaeological survey included only the new US 301/SR 39 intersection configuration at the south end of the project. The historical/architectural survey is an update of the original CRAS that was prepared in 2000 as part of the US 301/Zephyrhills Project Development and Environment (PD&E) Study (ACI 2000a). Since this time, the City of Zephyrhills has proposed an alternative that utilizes 7<sup>th</sup> Street for the northbound lanes instead of US 301/Gall Blvd., the previously identified Preferred PD&E Study Alternative. Therefore, the CRAS Update identified and evaluated historic resources associated with two alternatives: the 6<sup>th</sup> Street and US 301/Gall Blvd. One Way Pair Alternative and the 6<sup>th</sup> and 7<sup>th</sup> Street One Way Pair Alternative. The pond site alternatives associated with this project also are included for the historical/architectural field survey update.

Archaeological survey of the proposed pond site alternatives for the original recommended build alternative (Alternative 2: 6<sup>th</sup> Street and US 301) was conducted in 2000 as part of the PD&E Study CRAS (ACI 2000a). The field survey was preceded by a preliminary cultural resource probability analysis (ACI 2000b).

The objective of the CRAS Update was to locate, identify, and bound any archaeological sites and historic resources associated with the project, and to collect and document sufficient data from each identified archaeological site and historic resource to permit an assessment of its significance in terms of eligibility for listing in the National Register of Historic Places (NRHP) according to criteria set forth in 36 CFR Section 60.4. This work was conducted in compliance with the provisions of the National Historic Preservation Act of 1966 (Public Law 89-665), as amended, and the implementing regulations (36 CFR Part 800), as well as the provisions contained in the revised Chapter 267, *Florida Statutes (F.S.)*.

Background research indicated that no previously recorded archaeological sites are located within the new US 301/SR 39 intersection configuration area of potential effect (APE). The archaeological APE was defined as the land contained within the existing and proposed right-of-way for the new intersection, as depicted in Figure 4. No new archaeological sites were discovered as the result of field survey. Preliminary research also indicated that 108 previously recorded historic resources are located within the US 301 (SR 41) project area of potential effect (APE). The APE for the historical/architectural survey was defined as all properties located adjacent to all the alternative alignments, including properties facing both sides of 6<sup>th</sup> Street, US 301/Gall Blvd., and 7<sup>th</sup> Street. This APE is comparable to the original PD&E Study project APE



**Figure 1.** Project Location Map showing the Study Alternatives (Tiger 2008).

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
 Pasco County

(ACI 2001a). Of these, update survey indicated that nine historic buildings (8PA923, -932, -939, 1168, -1175, -1176, -1177, -1178, and -1179) are no longer extant, and 23 (8PA916, -917, -922, -925, -926, -927, -931, -941, -949, -950, -954, -998, -1009, -1046, -1078, -1164, -1182, -1183, -1189, -1190, -1191, -1194, and -1285) have undergone substantial changes since they were last documented. Seventy-six historic resources have not been substantially altered, and thus, updated Florida Master Site File (FMSF) forms were not required. Fifty-three historic buildings (8PA2720-2772), constructed between 1940 and 1960, were newly identified, recorded, and evaluated. None of the total 161 previously and newly recorded historic resources is considered individually eligible for listing in the NRHP. Three previously recorded historic buildings (8PA1044, -1045, and -1090) and one newly recorded resource (8PA2742) are considered contributing resources to the NRHP-listed Zephyrhills Downtown Historic District (8PA1357), which is situated, at least in part, within the APE for the 6<sup>th</sup> and 7<sup>th</sup> Street One Way Pair Alternative. The update survey also included an evaluation of the potential for a historic district located to the west of 6<sup>th</sup> Street, as previously identified in 1999 by Quatrefoil Consulting. Survey of the general area indicated that there is no justification for a new historic district, given the lack of sufficient concentration of historic buildings, the degree of non-historic alterations, and absence of significant historical associations.

Historical survey of the 23 proposed pond site alternatives indicated that 24 extant previously recorded and nine newly identified historic buildings are associated with 11 proposed pond site alternatives. All 33 historic resources were evaluated as ineligible for listing in the NRHP, either individually or a contributing resource within a historic district. No previously recorded or newly identified historic resources are located within or adjacent to the other 12 proposed pond site alternatives.

Survey methods and the results of background research and archaeological and historical/architectural field surveys follow. Discussions of the Environmental Setting, Prehistory, and History of the project area are not included in this Update Technical Memorandum since they are included in the original US 301/Zephyrhills PD&E Study CRAS Report (ACI 2000a). Appendices to this Update Technical Memorandum include a summary table listing each previously recorded historic resource that was not updated (**Appendix A**); a copy of the original FMSF form for each of the demolished historic structures, as well as a letter notifying the FMSF of their changed status (**Appendix B**); and updated and original FMSF forms for the previously recorded historic buildings which have undergone significant changes as well as newly identified historic resources, respectively (**Appendix C; Volume II**).

## 1.1 Existing Conditions

US 301 is predominately a rural two-lane, two-way, undivided arterial roadway with 4-foot wide paved shoulders from SR 39 to Geiger Road (North Avenue). Existing 5-foot wide sidewalk is limited to the west side from South Avenue to 10<sup>th</sup> Avenue. A one-way pair of roadways was created in 1996 by the City of Zephyrhills using 6<sup>th</sup> Street and 7<sup>th</sup> Street, which run parallel to US 301. The couplet begins at A Avenue for northbound traffic on 7<sup>th</sup> Street and ends at North Avenue. Southbound, one-way traffic on 6<sup>th</sup> Street is from 16<sup>th</sup> Avenue to A Avenue where 6<sup>th</sup> Street converts to two-way traffic. 7<sup>th</sup> Street is currently a two-lane one-way northbound undivided roadway beginning at A Avenue and ending at Geiger Road (North Avenue). It has a continuous 5-foot sidewalk on the east side and intermittent 5-foot sidewalk on the west side. Existing right of way width for US 301, 6<sup>th</sup> Street and 7<sup>th</sup> Street is nominally 60 feet (Figure 2).

## 1.2 Proposed Conditions

The two proposed build alternatives consist of the 6<sup>th</sup> Street and US 301/Gall Blvd. One Way Pair Alternative and the 6<sup>th</sup> and 7<sup>th</sup> Street One Way Pair Alternative. The proposed 6<sup>th</sup> Street and US 301/Gall Blvd. One Way Pair Alternative would convert US 301 from a two-lane, two-way undivided roadway to a one-way, three-lane northbound roadway from A Avenue to Geiger Road (North Avenue). 6<sup>th</sup> Street will be widened from a two-lane to a three-lane, one-way southbound roadway from A Avenue to 16<sup>th</sup> Avenue. 7<sup>th</sup> Street will remain as it currently exists. The proposed US 301 and 6<sup>th</sup> Street typical sections will consist of three 11-foot lanes, a 4-foot bike lane, and curb and gutter and 6-foot sidewalks on both sides (Figure 3). No on-street parking will be provided. The proposed right of way width is the existing width of 60 feet. The design speed is 40 miles per hour (mph).

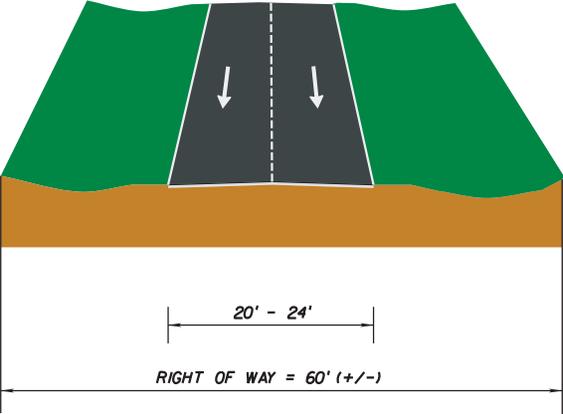
For the proposed 6<sup>th</sup> and 7<sup>th</sup> Street One Way Pair Alternative, US 301 will remain in its existing condition from A avenue to North Avenue. Maintenance of this segment of roadway will be transferred to the City of Zephyrhills. 6<sup>th</sup> Street will be widened from a two-lane to a three-lane, one-way southbound roadway from A Avenue to 16<sup>th</sup> Avenue. 7<sup>th</sup> Street will be widened from a two-lane to a three-lane one-way northbound roadway beginning at A Avenue and ending at Fort King Road. The proposed 6<sup>th</sup> and 7<sup>th</sup> Street typical sections will both consist of three 11-foot lanes, a 4-foot bike lane, and curb and gutter and 6-foot sidewalks on both sides (Figure 4). No on street parking will be provided. The proposed right of way width is the existing width of 60 feet. The design speed is 40 mph.

At the southern limit of the project, the two-lane rural SR 39 currently intersects the two-lane rural US 301 at an acute angle just south of Palm Grove Avenue. Northbound traffic on SR 39 merges with northbound traffic on US 301. Southbound traffic on US 301, continuing east on SR 39, must make a permissive left turn across northbound US 301 traffic.

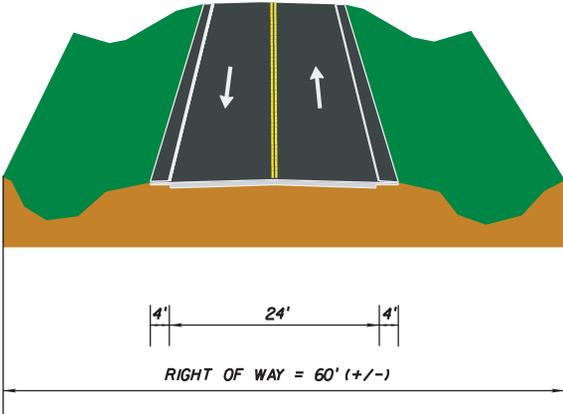
For the proposed condition, the SR 39 intersection with US 301 is moved south of Tucker Road. SR 39 is realigned to intersect US 301 at a right angle at a new signal controlled intersection. Both US 301 and SR 39 will be divided four-lane roadways at the new intersection.

EXISTING TYPICAL SECTIONS

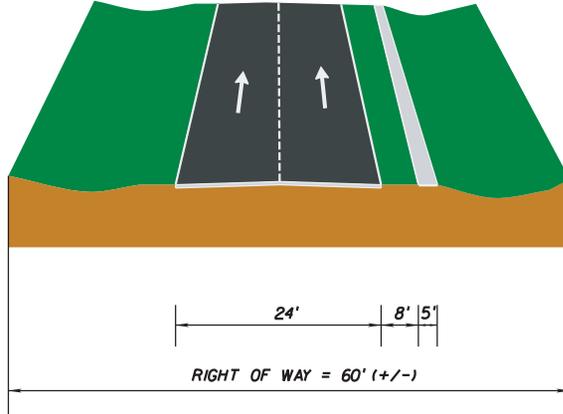
S



6TH STREET



US 301



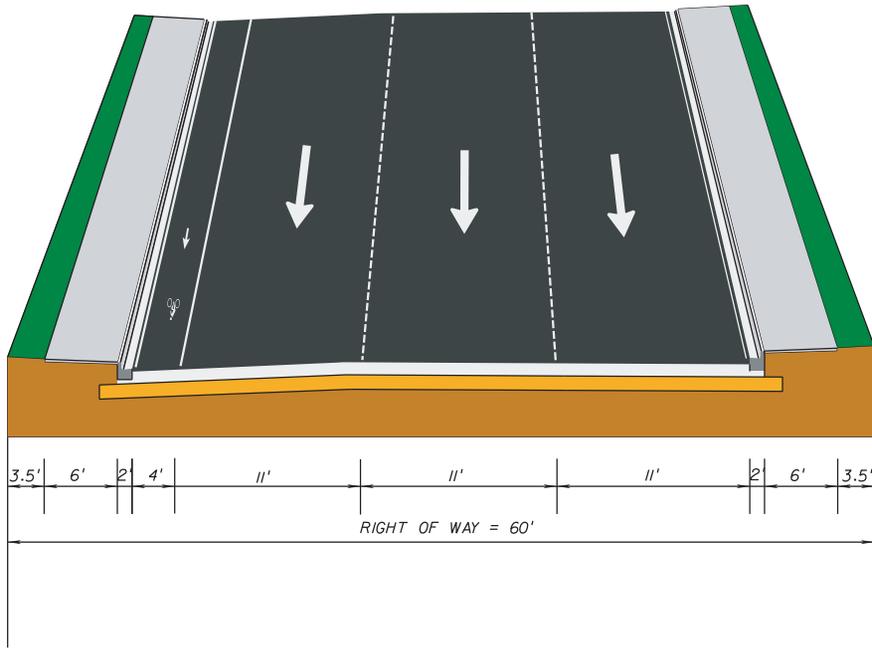
7TH STREET

Figure 2. Existing Typical Sections

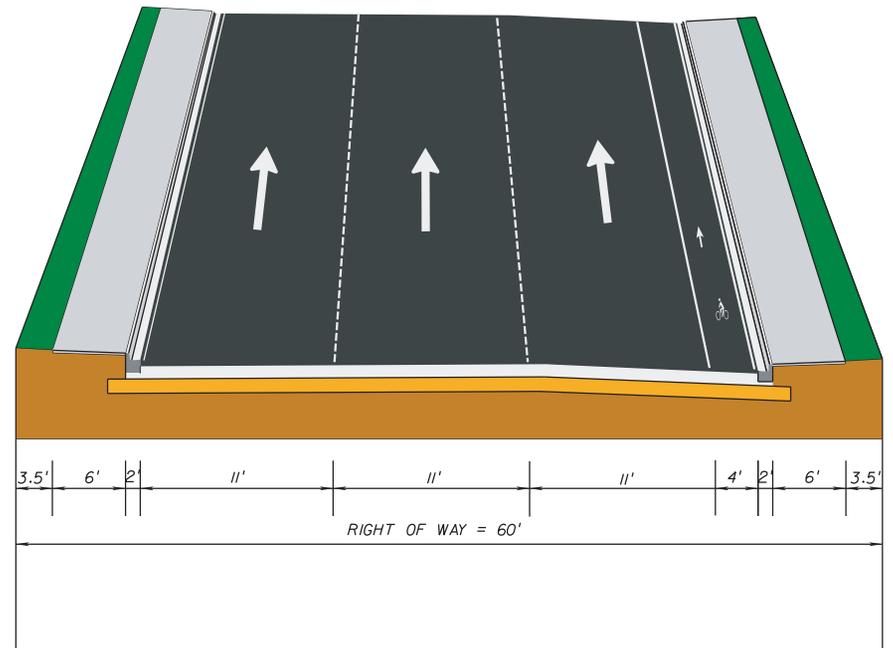
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6TH STREET AND US 301/GALL BLVD. ONE WAY PAIR ALTERNATIVE

9



6TH STREET



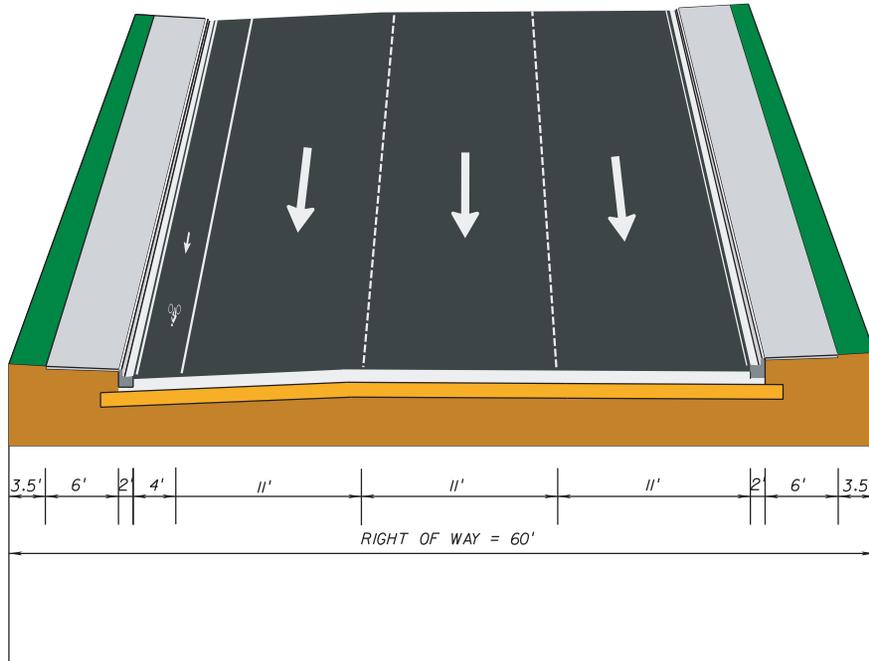
US 301

Figure 3. 6th Street and US 301/Gall Blvd. One Way Pair Alternative Proposed Typical Sections.

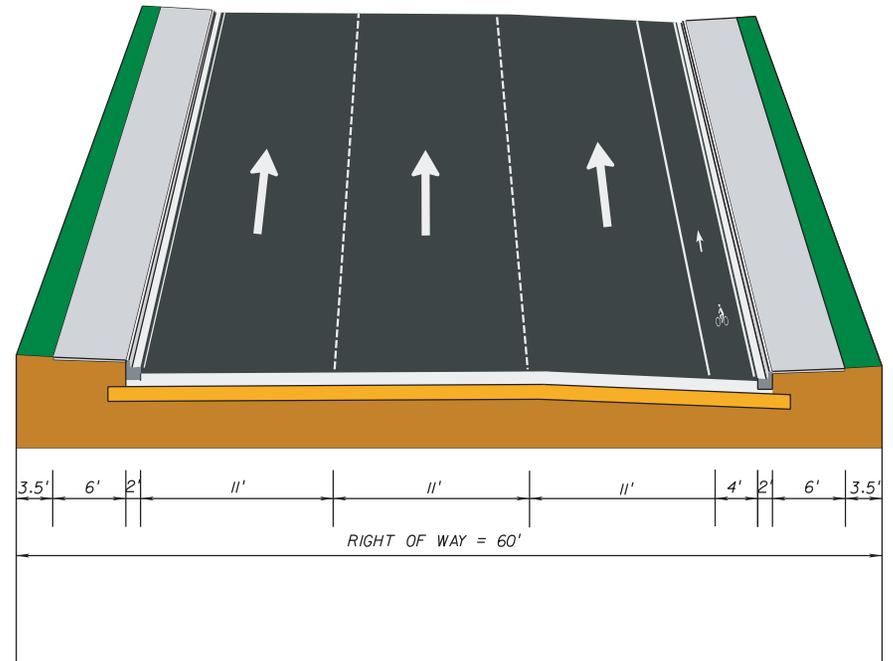
CRAS Update  
 US 301 (SR 41)  
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# 6TH & 7TH STREET ONE WAY PAIR ALTERNATIVE

7



6TH STREET



7TH STREET

Figure 4. 6th and 7th Street One Way Pair Alternative Proposed Typical Sections.

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## **2.0 METHODS**

### **2.1 Preliminary Methodology Meeting**

On March 23, 2010, a conference call was conducted among the consultant team and representatives of the Federal Highway Administration (FHWA), Florida Department of Transportation's (FDOT) Central Environmental Management Office (CEMO) and District Seven, and the office of the State Historic Preservation Officer (SHPO) to discuss the proposed methodology for the CRAS Update. As a result, it was agreed that the following objectives and actions will be accomplished:

- Confirm findings of the 2000 PD&E Study CRAS
- Provide information in table format only (not text) for previously recorded resources that have not been substantially changed and are not being updated, and provide a copy of the original FMSF form.
- Provide text and occasional photos (before and after photos would be useful for some) for any previously recorded resource that has been substantially altered and provide FMSF Update form.
- Provide text and occasional photos for any historic resource located within the project APE (including the FDOT and City Alternatives) that is now 50 years old (built prior to 1961) and was not previously recorded, and provide a new original FMSF form.
- Identify any previously recorded historic resources that are no longer extant and provide a copy of the original FMSF forms and a change of status letter to the FMSF office.
- Confirm the boundaries and contributing resources for the Zephyrhills Historic District (within the project APE only).
- Determine if the potential historic district along and west of 6<sup>th</sup> Street lies within the project APE. Provide NRHP-eligible information if it does. Clearly explain why, if it does not.
- Conduct archaeological field survey of the new US 301/SR 39 intersection configuration.

### **2.2 Field Methods**

Archaeological field survey consisted of an initial ground surface reconnaissance of the new US 301/SR 39 intersection configuration at the south end of the project. In addition, subsurface shovel testing was systematically carried out at 50 meter (m) (164 feet [ft]) intervals throughout the project archaeological APE to test for the presence of buried cultural deposits. Shovel tests were circular and measured approximately 0.5 m (1.5 ft) in diameter by at least 1 m (3.3 ft) in depth, and all soil removed was screened through a 6.4 mm (.25 in) mesh hardware cloth to maximize the recovery of artifacts. The locations of all shovel tests were plotted on an aerial map, and, following the recording of relevant data such as stratigraphic profile and artifacts finds, all test pits were refilled.

It was anticipated that if human burial sites such as Indian mounds, lost historic and prehistoric cemeteries, or other unmarked burials or associated artifacts were found, then the provisions and guidelines set forth in Chapter 872.05 *F.S.* (Florida's Unmarked Burial Law) would be followed. It was not expected that such sites would be found.

Historical/architectural field survey consisted of a preliminary reconnaissance to determine the location of all previously recorded historic resources as well as those believed to have been built prior to 1961, and to evaluate each identified resource as per the criteria of eligibility for inclusion in the NRHP. For each identified historic resource, photographs were taken, and information needed for the completion of FMSF forms was gathered. In addition to architectural descriptions, each historic resource was reviewed to assess style, historic context, condition, and potential NRHP eligibility. The NRHP-listed Zephyrhills Downtown Historic District was evaluated to determine if there are any proposed changes to contributing resources (additions or deletions) within the project APE. In addition, a reconnaissance along and west of 6<sup>th</sup> Street was conducted to evaluate the validity of a potential new historic district.

If available, it was planned to interview residents or other knowledgeable persons to obtain site-specific building construction dates and/or possible associations with individuals or events significant to local or regional history. However, no interviews were conducted. Field survey data was supplemented by information contained in the Pasco County Property Appraiser's Office records.

### **2.3 Artifact Analysis**

No archaeological materials were recovered as the result of archaeological survey, and hence, no artifact analysis was needed.

### **3.0 BACKGROUND RESEARCH**

In 2000, ACI performed a CRAS for the US 301 PD&E Study (ACI 2000). The project APE included US 301, 6<sup>th</sup> Street and 7<sup>th</sup> Street between SR 39 and CR 54. As a result, one archaeological site (8PA1206) and 100 historic resources were identified and evaluated. Background research performed as part of this CRAS Update entailed updating the survey and archaeological site and historic resource data for the project APE and vicinity.

**Archaeological:** An updated search of the digital database of the FMSF, accessed in July 2010, indicated that since the completion of the archaeological survey of the US 301/Zephyrhills PD&E Study project in 2000, no new archaeological sites have been recorded within the current project APE. Since the original CRAS was completed in 2000, five archaeological surveys have been conducted within approximately one mile of the new US 301/SR 39 intersection configuration. These investigations include segments of the proposed Buccaneer Gas Pipeline corridor (FMSF Survey No. 5840; Estabrook et al. 2000) as well as for Lines 500 and 600 of the Gulfstream pipeline corridor (FMSF Survey No. 6800; Janus Research 2002). Other local surveys, conducted for proposed residential and/or commercial developments, include the Rucks Parcels (FMSF Survey No. 10809; ACI 2003), the Hidden River Parcel (FMSF Survey No. 12725; ACI 2004), and the Feliciano Property (FMSF Survey No. 11053; Stokes 2005). As a result of these and other local surveys, 17 archaeological sites (**Table 1**) have been recorded within one mile of the project archaeological APE, inclusive of the one site discovered during the original US 301 survey (FMSF Survey No. 13778). These archaeological resources include 14

lithic scatters (“prehistoric lacking pottery”), two 19<sup>th</sup>-20<sup>th</sup> century homesteads, and one Middle Archaic campsite. The SHPO evaluated all 17 archaeological sites as ineligible for the NRHP.

**Table 1.** Previously recorded archaeological sites located within one mile of the new US 301/SR 39 intersection configuration.

Site No.	Site Name	Type/Culture	Survey No.	SHPO Eval.
8PA00382	Buffalo Stance	Prehistoric lacking pottery	10809	Ineligible
8PA01140	Annie	Prehistoric lacking pottery	10809	Ineligible
8PA01141	Offline	Homestead, American, 1821-present	10809	Ineligible
8PA01142	Billy	Homestead, American, 1821-present	10809	Ineligible
8PA01143	Carrie	Prehistoric lacking pottery	5840	Ineligible
8PA01144	Danny	Prehistoric lacking pottery	10869	Ineligible
8PA01145	Erin	Prehistoric lacking pottery	12725	Ineligible
8PA01206	Sheperd Park	Prehistoric lacking pottery	13778	Ineligible
8PA02053	Rucks Residence	Prehistoric lacking pottery	10809	Ineligible
8PA02054	Block House	Prehistoric lacking pottery	10809	Ineligible
8PA02055	North Sink	Prehistoric lacking pottery	10809	Ineligible
8PA02056	South Sink	Prehistoric lacking pottery	10809	Ineligible
8PA02057	Wading Cow	Prehistoric lacking pottery	10809	Ineligible
8PA02122	Emerald Pointe	Campsite, Middle Archaic	12725	Ineligible
8PA02146	Feliciano 1	Prehistoric lacking pottery	11053	Ineligible
8PA02147	Feliciano 2	Prehistoric lacking pottery	11053	Ineligible
8PA02148	Feliciano 3	Prehistoric lacking pottery	11053	Ineligible

A review of relevant environmental and historical information, including the U.S. Department of Agriculture’s (USDA) soil survey of Pasco County, the U.S. Geological Survey (USGS) Zephyrhills quadrangle map, and the 19<sup>th</sup> century federal surveyor’s plat map, indicated a generally low potential for archaeological site occurrence within the project APE. The only noteworthy feature is an abandoned railroad grade depicted on the quadrangle map.

**Historical:** In 1999, prior to the PD&E Study project CRAS, Quatrefoil Consulting performed a historic structures survey of the City of Zephyrhills. As a result, 443 historic resources and two potential NRHP historic districts were identified and recorded. One of the historic districts, the Zephyrhills Downtown Historic District (8PA1357), was considered locally significant under Criteria A and C in the areas of Community Planning and Development and Architecture. As defined, the historic district is roughly bounded by South Avenue, 9<sup>th</sup> Avenue, 7<sup>th</sup> Street, and 11<sup>th</sup> Street (**Figure 5**). The total 209 buildings within the boundaries include 126 historic resources that contribute to the historic character of the district and 83 are noncontributing resources. The contributing resources include 108 residences, 14 commercial buildings, one church, and three social halls. The period of significance is from 1910 to 1950. A NRHP Nomination for the Zephyrhills Downtown Historic District was prepared in 2001 by Sherry Anderson and Gary Goodwin. The SHPO determined the historic district eligible for listing on July 31, 2001. The historic district was listed in the NRHP in 2001.

In 2000, the original historical/architectural field survey of the US 301/Zephyrhills PD&E Study project (ACI 2000a) resulted in the identification and evaluation of 100 historic resources, including 63 extant previously recorded historic buildings (8PA674, -675, 912 through -954, -998, -1009, -1013, -1014, -1018, -1023, -1024, -1044, -1045, -1046, -1068, -1078, -1088, -1090, -1091, -1092, -1112, -1113, and -1114) and 37 newly identified historic resources (8PA1164 through 8PA1200) (**Figures 6 and 7**). All 37 newly recorded historic buildings (27 residential and 10 commercial) were considered ineligible for the NRHP given their lack of

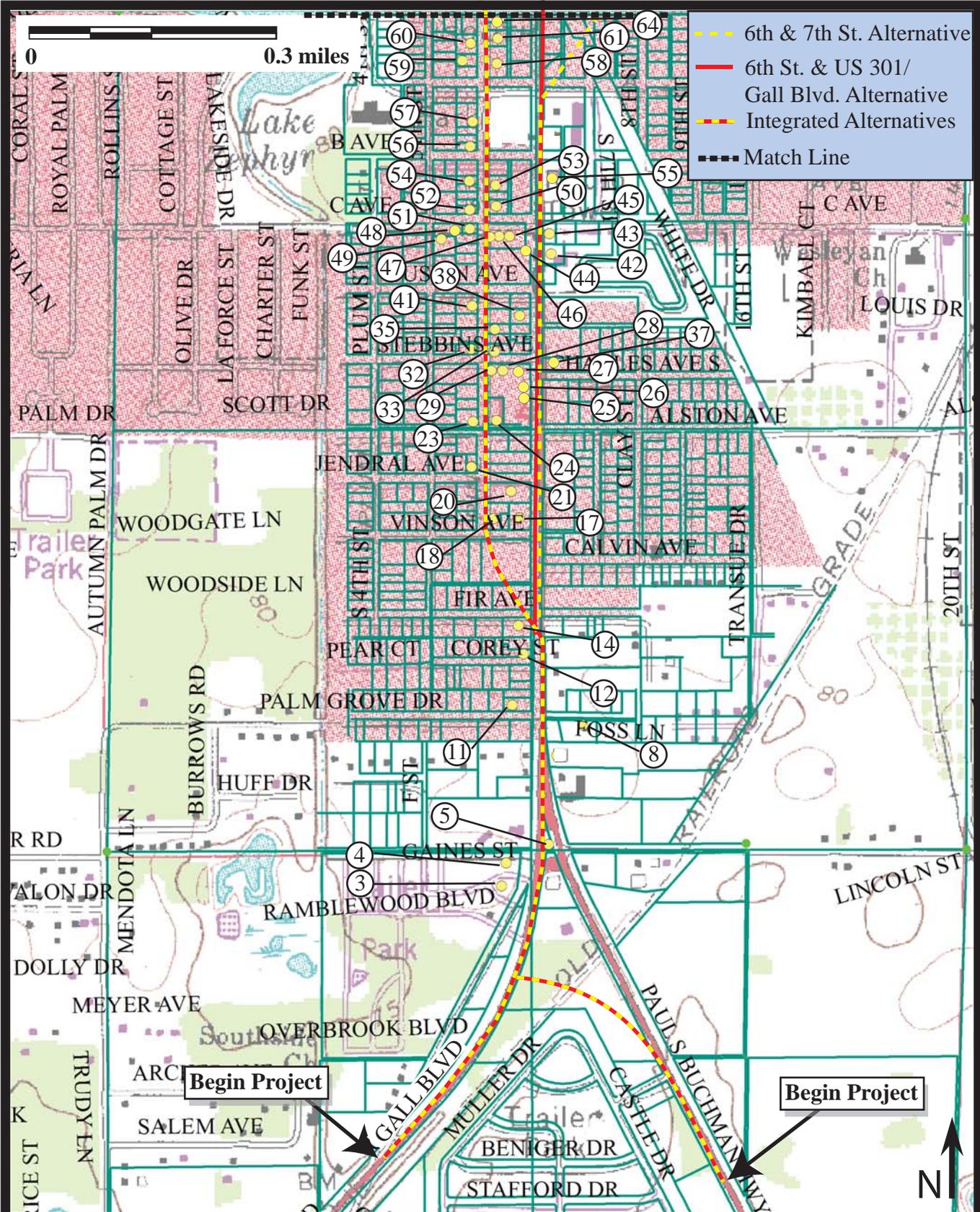


MAP PREPARED BY THE PLANNING DEPARTMENT, CITY OF ZEPHYRHILLS, FLORIDA, JUNE 2000,  
AND REVISED BY THE FLORIDA BUREAU OF HISTORIC PRESERVATION OCTOBER, 2000.

DOWNTOWN ZEPHYRHILLS HISTORIC DISTRICT  
ZEPHYRHILLS (PASCO COUNTY), FLORIDA

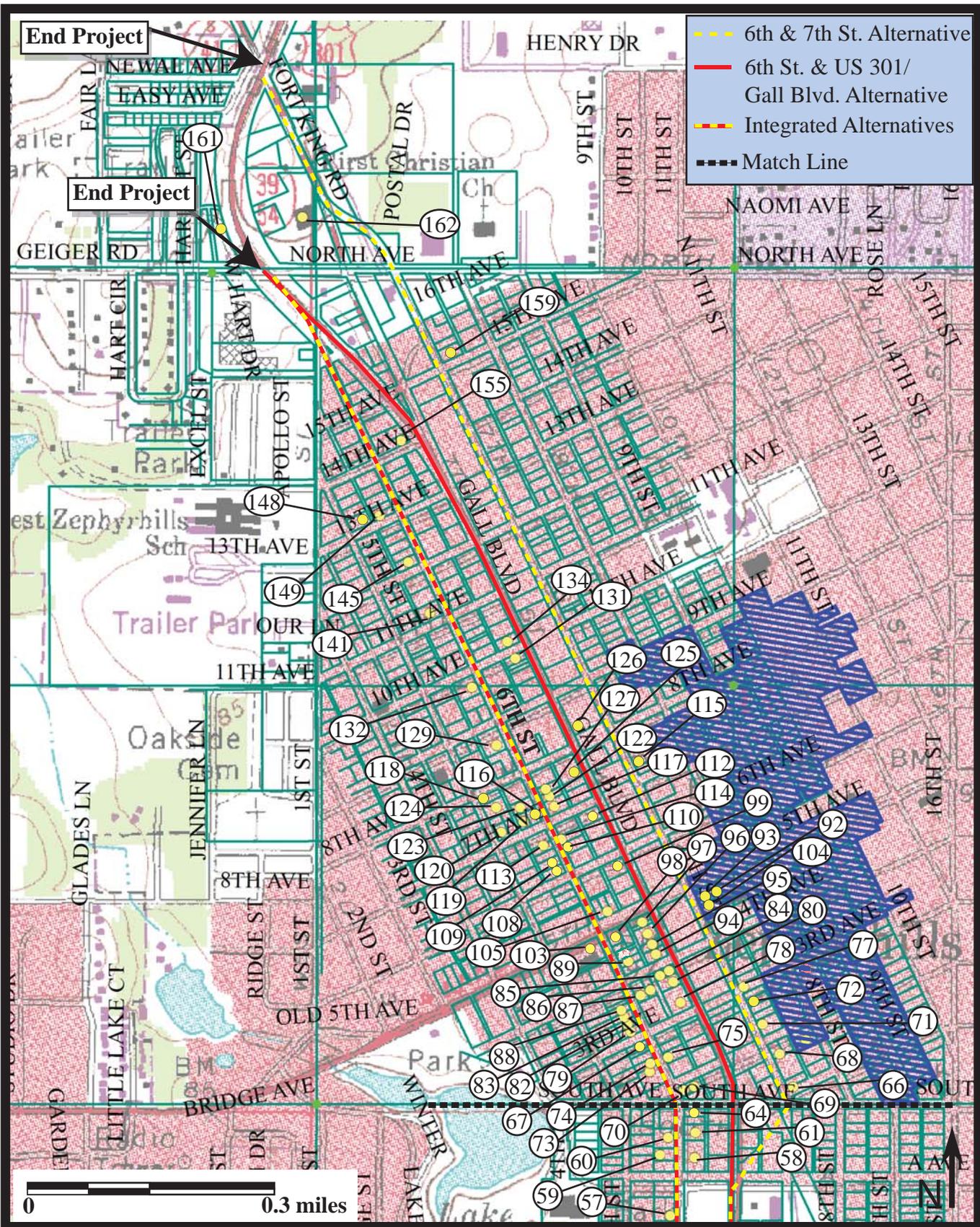
CRAS Update  
US 301 (SR 41)  
from SR 39  
to South of CR 54,  
Pasco County

Figure 5. Downtown Zephyrhills Historic District (Planning Department, City of Zephyrhills 2000).



**Figure 6.** Location of previously recorded historic resources within the US 301 (SR 41) project APE (USGS 1977 Zephyrhills mrg.3418.tif). Numbers correspond to Table 2.

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
 Pasco County



**Figure 7.** Location of previously recorded historic resources within the US 301 (SR 41) project APE (USGS 1977 Zephyrhills mrg.3418.tif). Numbers correspond to Table 2. Boundary of the Zephyrhills Downtown Historic District (8PA1357) depicted in blue.

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
 Pasco County

noteworthy architectural features and significant historical associations. Due to the project limits of the current survey, two of the then newly recorded buildings (8PA1199 and 8PA1200) are now located outside of the APE. One of the newly recorded historic buildings (8PA1191), located within the boundaries of the Zephyrhills Downtown Historic District, was considered noncontributing. Seven of the previously recorded historic resources (8PA912, -913, -1044, -1045, -1068, -1090, and -1091) located within the US 301 PD&E Study project APE were considered contributing resources to the Zephyrhills Downtown Historic District. Of these, the former City Hall (8PA1045), considered individually eligible for listing in the NRHP by Quatrefoil Consulting (1999), was evaluated as still contributing to the historic district but no longer individually eligible due to a loss of architectural integrity. The potential historic district located along and west of 6<sup>th</sup> Street, as proposed by Quatrefoil Consulting in 1999, was found by ACI to not “retain enough integrity or concentration of buildings to form a cohesive historic district” (ACI 2000a:7-2). Subsequently, the final district nomination determined that three of these previously recorded buildings, 8PA1044, -1045, and -1090, are located within the district boundaries (Anderson and Goodwin 2001). The other four (8PA912, -913, -1068, and -1091) were excluded from the historic district boundaries.

In addition to the 100 historic resources evaluated in the US 301/Zephyrhills PD&E Study project (ACI 2000a), ACI also conducted a CRAS of the 23 proposed pond site alternatives for the recommended build alternative. As a result, 28 historic resources were identified within or adjacent to 12 of the proposed pond sites. Of these, 24 were previously recorded and four (8PA1283 thru -1286) were newly identified. All were evaluated as ineligible for listing in the NRHP.

In 2005, Janus Research conducted the *Historic Resources Survey of East Pasco County* (Janus Research 2005). As a result, four previously recorded historic resources (8PA1112 thru -1115) located within the US 301 (SR 41) update survey project APE were evaluated, and their FMSF forms were updated.

The current update historic structures survey began with a windshield survey of the project APE (including proposed pond site alternatives), followed by a check of the Pasco County Property Appraiser’s records to determine construction dates. As a result, approximately 60 historic resources built between 1951 and 1960 were identified.

#### **4.0 ARCHAEOLOGICAL SURVEY RESULTS**

Archaeological field survey entailed surface reconnaissance and the excavation of a total 16 subsurface tests within the new US 301/SR 39 intersection configuration (**Figure 8**). Shovel tests were excavated at 50 m (164 ft) intervals (offset) along both sides of US 301 and SR 39, as well as within the crossover area. As a result, no new archaeological sites were discovered. No physical remains of the “old railroad grade” depicted on the USGS Zephyrhills quadrangle map were observed. The existing conditions within the original railroad crossing area are depicted in **Photo 1**. The typical stratigraphic profile revealed in the tests along US 301 was a zone of grayish brown sand from 0-100 cm (0-40 in) below surface. The general stratigraphy along SR 39 is an upper zone of dark gray sand from 0-10 cm (0-4 in) below surface underlain by gray sand to a depth of 100 cm (40 in). Representative views of the archaeological APE are provided in **Photos 2-4**.



**Figure 8.** Approximate location of shovel tests within the new US 301/SR 39 intersection configuration, Pasco County, Township 26 South, Range 21 East (dsgnem02.dgn Group Layer; op2009nc1ft\_10\_E.sid). Shovel tests are not to scale.

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
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**Photo 1.** Looking southwest at the original location of the “old railroad grade.”



**Photo 2.** Looking north along the SR 39 alignment within the new US 301/SR 39 intersection area.



**Photo 3.** Looking west at the “crossover” realignment area to the west of SR 39 within the new US 301/SR 39 intersection area.



**Photo 4.** Looking south along the US 301 alignment within the new US 301/SR 39 intersection area.

## 5.0 HISTORICAL SURVEY RESULTS

### 5.1 Overview

As the result of background research and update survey, a total of 161 historic resources were identified within the US 301 (SR 41) project historical APE. Of these, 108 were previously recorded (**Table 2; Figures 6 and 7**) and 53 were newly identified (**Table 3; Figures 9 through 11**). The update survey indicated that of the 108 previously recorded historic resources, 76 have not undergone substantial changes, and therefore, updated FMSF forms were not required. A table providing relevant descriptive information is contained in **Appendix A**. Nine of the previously recorded historic resources are no longer extant (**Table 4**); a copy of the original FMSF form for each is provided in **Appendix B**. The 23 extant previously recorded historic resources were updated due to substantial alterations since the time they were originally recorded. Updated FMSF forms for these resources, as well as for the 53 newly recorded historic resources (8PA2720 through –2772), are contained in **Appendix C**. Summary information for both the 23 updated and 53 newly identified historic resources is provided in **Table 3**, and resource locations, including demolished buildings, are depicted in **Figures 9 through 11**.

**Table 2.** Previously recorded historic structures located within the US 301 (SR 41) project APE, including demolished (orange) and updated FMSF (blue) resources.

Figure/ -#	FMSF No.	Address	Date	Style	NRHP Eligibility
6/-3	8PA1164	3927 Old Crystal Springs Rd	c. 1950	MV	Not eligible
6/-4	8PA675	3951 US 301	c. 1948	FV	Not eligible
6/-5	8PA674	4008 US 301	c. 1949	MV	Not eligible
6/-8	8PA1165	38524 Foss Lane	c. 1926	FV	Not eligible
6/-11	8PA1166	4135 Gall Boulevard	c. 1948	MV	Not eligible
6/-12	8PA1167	38445 Corey Street	c. 1950	MV	Not eligible
6/-14	8PA1168	38441 Fir Street	c. 1926	MV	Not eligible
6/-17	8PA1170	4351 Gall Boulevard	c. 1950	MV	Not eligible
6/-18	8PA1169	4352 6 <sup>th</sup> Street	c. 1950	MV	Not eligible
6/-20	8PA1171	38430 Jendral Avenue	c. 1950	MV	Not eligible
6/-21	8PA1172	4446 Hooper Street	c. 1950	FV	Not eligible
6/-23	8PA1173	38411 Alston Avenue	c. 1948	FV	Not eligible
6/-24	8PA1174	38425-33 Alston Avenue	c. 1920	Craftsman	Not eligible
6/-27	8PA1177	38436 Stebbins Avenue	c. 1946	MV	Not eligible
6/-28	8PA1176	38430 Stebbins Avenue	c. 1946	MV	Not eligible
6/-29	8PA1175	38437 Alston Avenue	c. 1946	FV	Not eligible
6/-26	8PA1178	38438 Stebbins Avenue	c. 1946	MV	Not eligible
6/-25	8PA1179	38444 Stebbins Avenue	c. 1946	MV	Not eligible
6/-32	8PA1180	38411 Stebbins Avenue	c. 1948	FV	Not eligible
6/-33	8PA1181	38429 Stebbins Avenue	c. 1928	Bungalow	Not eligible
6/-35	8PA1182	4606 6 <sup>th</sup> Street	c. 1946	Bungalow	Not eligible
6/-37	8PA1183	4612 6 <sup>th</sup> Street	c. 1950	Bungalow	Not eligible
6/-38	8PA1184	4617 Gall Boulevard	c. 1945	FV	Not eligible
6/-41	8PA1185	4631 Gall Boulevard	c. 1928	Bungalow	Not eligible
6/-42	8PA1186	4644 Gall Boulevard	c. 1949	MV	Not eligible
6/-43	8PA914	4724 US 301	c. 1949	MV	Not eligible
6/-44	8PA1188	4723 Gall Boulevard	c. 1945	FV	Not eligible

Figure/ -#	FMSF No.	Address	Date	Style	NRHP Eligibility
6/-45	8PA1112	38438 C Avenue	c. 1930	FV	Not eligible
6/-46	8PA1113	38430 C Avenue	c. 1930	FV	Not eligible
6/-47	8PA1114	38424 C Avenue	c. 1930	FV	Not eligible
6/-48	8PA1187	38408 C Avenue	c. 1950	FV	Not eligible
6/-49	8PA1115	38348 C Avenue	c. 1935	FV	Not eligible
6/-50	8PA998	34827 C Avenue	c. 1949	FV	Not eligible
6/-51	8PA2165	38350 C Avenue	c. 1935	FV	Not eligible
6/-52	8PA923	4741 6 <sup>th</sup> Street	c. 1925	Craftsman	Not eligible
6/-53	8PA924	4802 6 <sup>th</sup> Street	c. 1925	FV	Not eligible
6/-54	8PA925	4803 6 <sup>th</sup> Street	c. 1935	Craftsman	Not eligible
6/-55	8PA1189	4822 Gall Boulevard	c. 1950	MV	Not eligible
6/-56	8PA926	4821 6 <sup>th</sup> Street	c. 1925	FV	Not eligible
6+7/-57	8PA927	4839 6 <sup>th</sup> Street	c. 1947	FV	Not eligible
6+7/-58	8PA928	4918 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
6+7/-59	8PA929	4921 6 <sup>th</sup> Street	c. 1925	FV	Not eligible
6+7/-60	8PA930	4929 6 <sup>th</sup> Street	c. 1910	FV	Not eligible
6+7/-61	8PA931	4930 6 <sup>th</sup> Street	c. 1915	FV	Not eligible
6+7/-64	8PA932	4944 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-66	8PA1009	38541 1 <sup>st</sup> Avenue	c. 1945	FV	Not eligible
7/-67	8PA1018	38338 3 <sup>rd</sup> Avenue	c. 1930	FV	Not eligible
7/-68	8PA1190	5036 7 <sup>th</sup> Street	c. 1950	FV	Not eligible
7/-69	8PA1013	38424 2 <sup>nd</sup> Avenue	c. 1945	FV	Not eligible
7/-70	8PA1014	38418 2 <sup>nd</sup> Avenue	c. 1930	FV	Not eligible
7/-71	8PA1191	5106 7 <sup>th</sup> Street	c. 1950	FV	Not eligible
7/-72	8PA912	5116 7 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-73	8PA933	5031 6 <sup>th</sup> Street	c. 1920	FV	Not eligible
7/-74	8PA934	5035 6 <sup>th</sup> Street	c. 1925	FV	Not eligible
7/-75	8PA935	5036 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-77	8PA913	5126 7 <sup>th</sup> Street	c. 1930	FV	Not eligible
7/-78	8PA915	5117 Gall Boulevard	c. 1945	MV	Not eligible
7/-79	8PA936	5105 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-80	8PA916	5131 Gall Boulevard	c. 1949	QH	Not eligible
7/-82	8PA937	5111 6 <sup>th</sup> Street	c. 1930	Craft	Not eligible
7/-83	8PA938	5113 6 <sup>th</sup> Street	c. 1930	MV	Not eligible
7/-84	8PA917	5139 Gall Boulevard	c. 1930	MV	Not eligible
7/-85	8PA1023	38402 4 <sup>th</sup> Street	c. 1930	FV	Not eligible
7/-86	8PA1024	38350 4 <sup>th</sup> Avenue	c. 1930	FV	Not eligible
7/-87	8PA940	5122 6 <sup>th</sup> Street	c. 1949	Bauhausian	Not eligible
7/-88	8PA939	5117 6 <sup>th</sup> Street	c. 1930	FV	Not eligible
7/-89	8PA941	5132 6 <sup>th</sup> Street	c. 1910	FV	Not eligible
7/-92	8PA1044	38418-20 5 <sup>th</sup> Street	c. 1940	MV	Contributing to HD
7/-93	8PA1045	38416 5 <sup>th</sup> Avenue	c. 1936	Art Deco	Contributing to HD
7/-94	8PA918	5203 Gall Boulevard	c. 1940	MV	Not eligible
7/-95	8PA919	5211 Gall Boulevard	c. 1935	MV	Not eligible
7/-96	8PA920	5213 Gall Boulevard	c. 1935	MV	Not eligible
7/-97	8PA921	5215+ /- Gall Boulevard	c. 1949	AM	Not eligible
7/-98	8PA942	5150 6 <sup>th</sup> Street	c. 1930	MV	Not eligible
7/-99	8PA943	5227 6 <sup>th</sup> Street	c. 1920	FV	Not eligible
7/-103	8PA1047	First Baptist Church 38300 5 <sup>th</sup> Avenue	c. 1927	AR	Not eligible

Figure/ -#	FMSF No.	Address	Date	Style	NRHP Eligibility
7/-104	8PA1090	5216 7 <sup>th</sup> Street	c. 1945	MV	Contributing to HD
<a href="#">7/-105</a>	<a href="#">8PA1046</a>	38329 5 <sup>th</sup> Avenue	c. 1949	MV	Not eligible
7/-108	8PA944	5247 6 <sup>th</sup> Street	c. 1925	CR	Not eligible
7/-109	8PA945	5253 6 <sup>th</sup> Street	c. 1930	FV	Not eligible
7/-110	8PA1192	5254 6 <sup>th</sup> Street	c. 1950	MV	Not eligible
<a href="#">7/-112</a>	<a href="#">8PA922</a>	5345± Gall Boulevard	c. 1920	FV	Not eligible
7/-113	8PA946	5311 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-114	8PA947	5312 6 <sup>th</sup> Street	c. 1915	FV	Not eligible
7/-115	8PA1068	38409 7 <sup>th</sup> Street	c. 1925	FV	Not eligible
7/-116	8PA1193	38231 7 <sup>th</sup> Avenue	c. 1950	MV	Not eligible
7/-117	8PA948	5330 6 <sup>th</sup> Street	c. 1930	FV	Not eligible
7/-118	8PA965	5328 5 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-119	8PA1283	38227 7 <sup>th</sup> Avenue	c. 1950	Ranch	Not eligible
7/-120	8PA1284	38213 7 <sup>th</sup> Avenue	c. 1950	Ranch	Not eligible
<a href="#">7/-122</a>	<a href="#">8PA949</a>	5336 6 <sup>th</sup> Street	c. 1922	FV	Not eligible
<a href="#">7/-123</a>	<a href="#">8PA1194</a>	5335 6 <sup>th</sup> Street	c. 1950	Ranch	Not eligible
<a href="#">7/-124</a>	<a href="#">8PA1285</a>	5318 5 <sup>th</sup> Street	c. 1950	FV	Not eligible
7/-125	8PA951	5343 6 <sup>th</sup> Street	c. 1945	MT	Not eligible
7/-126	8PA1091	5420 7 <sup>th</sup> Street	c. 1945	MV	Not eligible
<a href="#">7/-127</a>	<a href="#">8PA950</a>	5340 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
<a href="#">7/-129</a>	<a href="#">8PA1078</a>	38142 9 <sup>th</sup> Street	c. 1955	FV	Not eligible
7/-131	8PA1092	5527 Gall Boulevard	c. 1945	MV	Not eligible
7/-132	8PA1195	5453 6 <sup>th</sup> Street	c. 1949	FV	Not eligible
7/-134	8PA1196	5537 Gall Boulevard	c. 1932	Bungalow	Not eligible
7/-141	8PA952	5601-5603 6 <sup>th</sup> Street	c. 1930	Craftsman	Not eligible
7/-145	8PA953	5631 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-148	8PA1286	38025-31 13 <sup>th</sup> Avenue	c. 1950	FV	Not eligible
<a href="#">7/-149</a>	<a href="#">8PA954</a>	1301 6 <sup>th</sup> Street	c. 1950	FV	Not eligible
7/-155	8PA1197	5801 Gall Boulevard	c. 1950	FV	Not eligible
7/-159	8PA1088	5854 7 <sup>th</sup> Street	c. 1940	FV	Not eligible
7/-161	8PA1198	Pinecrest Mobile Home Park	c. 1950	MV	Not eligible
7/-162	8PA2671	6020-6038 Gall Boulevard	c. 1959	MV	Not eligible
Out of APE	8PA1199	6407 Gall Boulevard	c. 1950	MV	Not eligible
Out of APE	8PA1200	37847 Eiland Boulevard	c. 1926	FV	Not eligible

Legend: Style

AM = Art Moderne  
AR = Adamesque Revival  
CR = Colonial Revival  
FV= Frame Vernacular

MT = Minimal Traditional  
MV= Masonry Vernacular  
QH= Quonset Hut

**Table 3.** Newly recorded (green) and previously recorded and updated (blue) historic structures located within the US 301 (SR 41) project APE.

Figure/ -#	FMSF No.	Address	Date	Style	NRHP Eligibility
9/-1	8PA2720	3653 Old Crystal Springs Rd	1950	Industrial Vernacular/ Commercial	Not eligible
9/-2	8PA2721	3657 Old Crystal Springs Rd	1950	MV	Not eligible
9/-3	8PA1164	Clydes Cottages 3927 Old Crystal Springs Rd	1950	MV	Not eligible
9/-6	8PA2722	Twilite Motel 4040 Gall Boulevard	1958	MV	Not eligible
9/-7	8PA2724	4103 Gall Boulevard	1950	MV	Not eligible
9/-9	8PA2723	4106 Gall Boulevard	1958	Commercial	Not eligible
9/-10	8PA2725	4127 Gall Boulevard	1948	Commercial	Not eligible
9/-15	8PA2726	38434 Fir Avenue	1960	MV	Not eligible
9/-13	8PA2727	Produce Stand 4250 Gall Boulevard	1955	MV	Not eligible
9/-16	8PA2729	4404 Gall Boulevard	1940	MV	Not eligible
9/-19	8PA2728	4345 6 <sup>th</sup> Street	1952	MV	Not eligible
9/-22	8PA2730	4435 Gall Boulevard	1958	MV	Not eligible
9+10/-30	8PA2731	4553 Gall Boulevard	1956	MV	Not eligible
9+10/-31	8PA2732	4601 Gall Boulevard	1956	MV	Not eligible
9+10/-34	8PA2736	4605 Gall Boulevard	1950	MV	Not eligible
10/-35	8PA1182	4606 6 <sup>th</sup> Street	1926	Bungalow	Not eligible
10/-36	8PA2733	4617 6 <sup>th</sup> Street	1958	MV	Not eligible
10/-37	8PA1183	4612 6 <sup>th</sup> Street	1926	Bungalow	Not eligible
10/-39	8PA2734	4624 6 <sup>th</sup> Street	1956	MV	Not eligible
10/-40	8PA2735	4622 Gall Boulevard	1957	Commercial	Not eligible
10/-50	8PA998	38427 C Avenue	1949	FV	Not eligible
10/-54	8PA925	4803 6 <sup>th</sup> Street	1940	Craftsman	Not eligible
10/-55	8PA1189	4822 Gall Boulevard	c. 1950	MV	Not eligible
10/-56	8PA926	4821 6 <sup>th</sup> Street	1940	FV	Not eligible
10/-57	8PA927	4839 6 <sup>th</sup> Street	1930	FV	Not eligible
10/-61	8PA931	4930 6 <sup>th</sup> Street	1915	FV	Not eligible
10/-62	8PA2737	Gun Shop 4932 Gall Boulevard	1956	MV	Not eligible
10/-63	8PA2738	Muffler City 4946 Gall Boulevard	1959	Commercial	Not eligible
10/-65	8PA2739	5009 Gall Boulevard	1960	Commercial	Not eligible
10/-66	8PA1009	38541 1 <sup>st</sup> Avenue	1945	FV	Not eligible
10/-68	8PA1190	5036 7 <sup>th</sup> Street	1950	FV	Not eligible
10/-71	8PA1191	5106 7 <sup>th</sup> Street	1950	FV	Not eligible
10/-80	8PA916	5131 Gall Boulevard	1949	Industrial Vernacular	Not eligible
10/-81	8PA2740	5110 6 <sup>th</sup> Street	1955	MV	Not eligible
10/-84	8PA917	5139 Gall Boulevard	1930	MV	Not eligible
10/-89	8PA941	5132 6 <sup>th</sup> Street	1910	FV	Not eligible
10/-90	8PA2741	5214 7 <sup>th</sup> Avenue	1952	MV	Not eligible; non-contributing to HD
10/-91	8PA2742	5210 7 <sup>th</sup> Avenue	1952	Commercial	Contributing to HD
10/-100	8PA2745	38415 5 <sup>th</sup> Avenue	1956	Modern	Not eligible

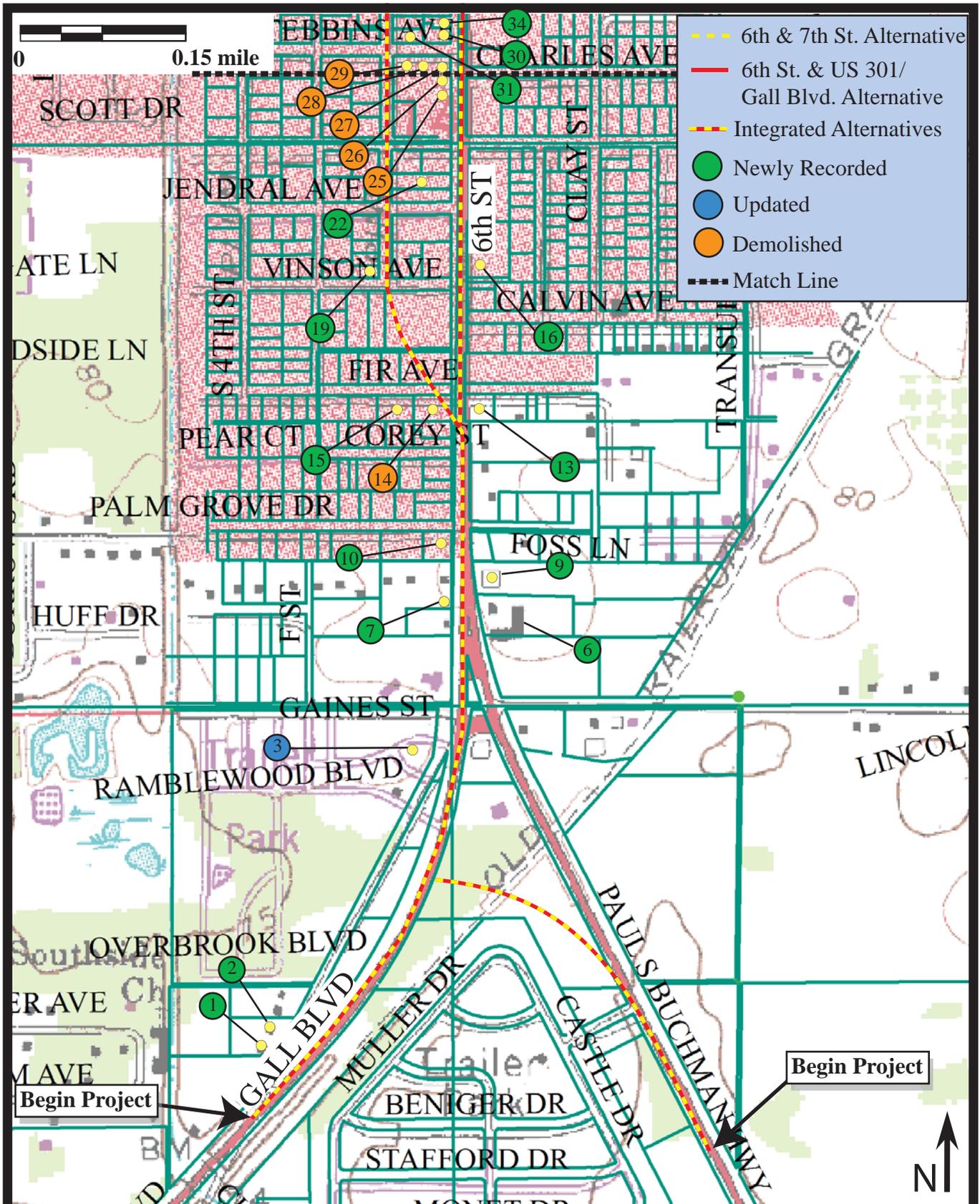
Figure/ -#	FMSF No.	Address	Date	Style	NRHP Eligibility
10/-101	8PA2744	38343 5 <sup>th</sup> Avenue	1954	Commercial	Not eligible
10/-102	8PA2743	Zephyrhills News 38333 5 <sup>th</sup> Avenue	1959	MV	Not eligible
10/-105	8PA1046	38329 5 <sup>th</sup> Avenue	1949	MV	Not eligible
10+11/- 106	8PA2746	Fire Station 38410 6 <sup>th</sup> Avenue	1960	MV	Not eligible
10/-107	8PA2748	5232 5 <sup>th</sup> Street	1955	FV	Not eligible
10+11/- 111	8PA2747	5303 6 <sup>th</sup> Street	1955	MV	Not eligible
10+11/- 112	8PA922	5345± Gall Boulevard	1920	FV	Not eligible
10+11/- 121	8PA2749	5355 Gall Boulevard	c. 1955	Commercial	Not eligible
10/-122	8PA949	5336 6 <sup>th</sup> Street	1922	FV	Not eligible
10+11/- 123	8PA1194	5335 6 <sup>th</sup> Street	1950	Ranch	Not eligible
10+11/- 124	8PA1285	5318 5 <sup>th</sup> Street	1950	FV	Not eligible
10/-127	8PA950	5340 6 <sup>th</sup> Street	1940	FV	Not eligible
10+11/- 128	8PA2750	38213 8 <sup>th</sup> Avenue	1952	MV	Not eligible
10+11/- 129	8PA1078	38142 9 <sup>th</sup> Street	1955	FV	Not eligible
10/-130	8PA2751	5518 7 <sup>th</sup> Street	1960	MV	Not eligible
11/-133	8PA2752	38303 10 <sup>th</sup> Avenue	1950	FV	Not eligible
10+11/- 135	8PA2753	38201 10 <sup>th</sup> Avenue	1954	Commercial	Not eligible
10+11/- 136	8PA2754	5523 6 <sup>th</sup> Street	1955	FV	Not eligible
10+11/- 137	8PA2755	5510 5 <sup>th</sup> Street	1955	MV	Not eligible
11/-138	8PA2756	5536 6 <sup>th</sup> Street	1955	MV	Not eligible
11/-139	8PA2757	5531 6 <sup>th</sup> Street	1956	MV	Not eligible
11/-140	8PA2758	5514 5 <sup>th</sup> Street	1955	MV	Not eligible
11/-142	8PA2759	5554 6 <sup>th</sup> Street	1955	MV	Not eligible
11/-143	8PA2760	5604 6 <sup>th</sup> Street	1955	MV	Not eligible
11/-144	8PA2761	5610 6 <sup>th</sup> Street	1952	MV	Not eligible
11/-146	8PA2762	5651 6 <sup>th</sup> Street	1958	MV	Not eligible
11/-147	8PA2763	38015 13 <sup>th</sup> Avenue	1958	MV	Not eligible
11/-149	8PA954	1301 6 <sup>th</sup> Street	1950	FV	Not eligible
11/-150	8PA2764	5719 6 <sup>th</sup> Street	1955	MV	Not eligible
11/-151	8PA2765	5727 6 <sup>th</sup> Street	1959	MV	Not eligible
11/-152	8PA2766	38046 14 <sup>th</sup> Avenue	1960	MV	Not eligible
11/-153	8PA2767	38032 14 <sup>th</sup> Avenue	1960	MV	Not eligible
11/-154	8PA2768	5801 6 <sup>th</sup> Street	1956	MV	Not eligible
11/-156	8PA2769	5821 Gall Boulevard	1956	MV	Not eligible
11/-157	8PA2770	5807 6 <sup>th</sup> Street	1959	Modern	Not eligible
11/-158	8PA2771	5829 Gall Boulevard	1959	MV	Not eligible
11/-160	8PA2772	5904 7 <sup>th</sup> Street	1960	Commercial	Not eligible

**Table 4.** List of demolished historic resources.

<b>Figure/ -#</b>	<b>FMSF No.</b>	<b>Address</b>	<b>Date</b>	<b>Style</b>	<b>NRHP Eligibility</b>
9/-14	8PA1168	38441 Fir Street	c. 1926	MV	Not eligible
9/-25	8PA1179	38444 Stebbins Avenue	c. 1946	MV	Not eligible
9/-26	8PA1178	38438 Stebbins Avenue	c. 1946	MV	Not eligible
9+10/-27	8PA1177	38436 Stebbins Avenue	c. 1946	MV	Not eligible
9+10/-28	8PA1176	38430 Stebbins Avenue	c. 1946	MV	Not eligible
9+10/-29	8PA1175	38437 Alston Avenue	c. 1946	FV	Not eligible
10/-52	8PA923	4741 6 <sup>th</sup> Street	c. 1925	Craftsman	Not eligible
10/-64	8PA932	4944 6 <sup>th</sup> Street	c. 1940	FV	Not eligible
10/-88	8PA939	5117 6 <sup>th</sup> Street	c. 1930	FV	Not eligible

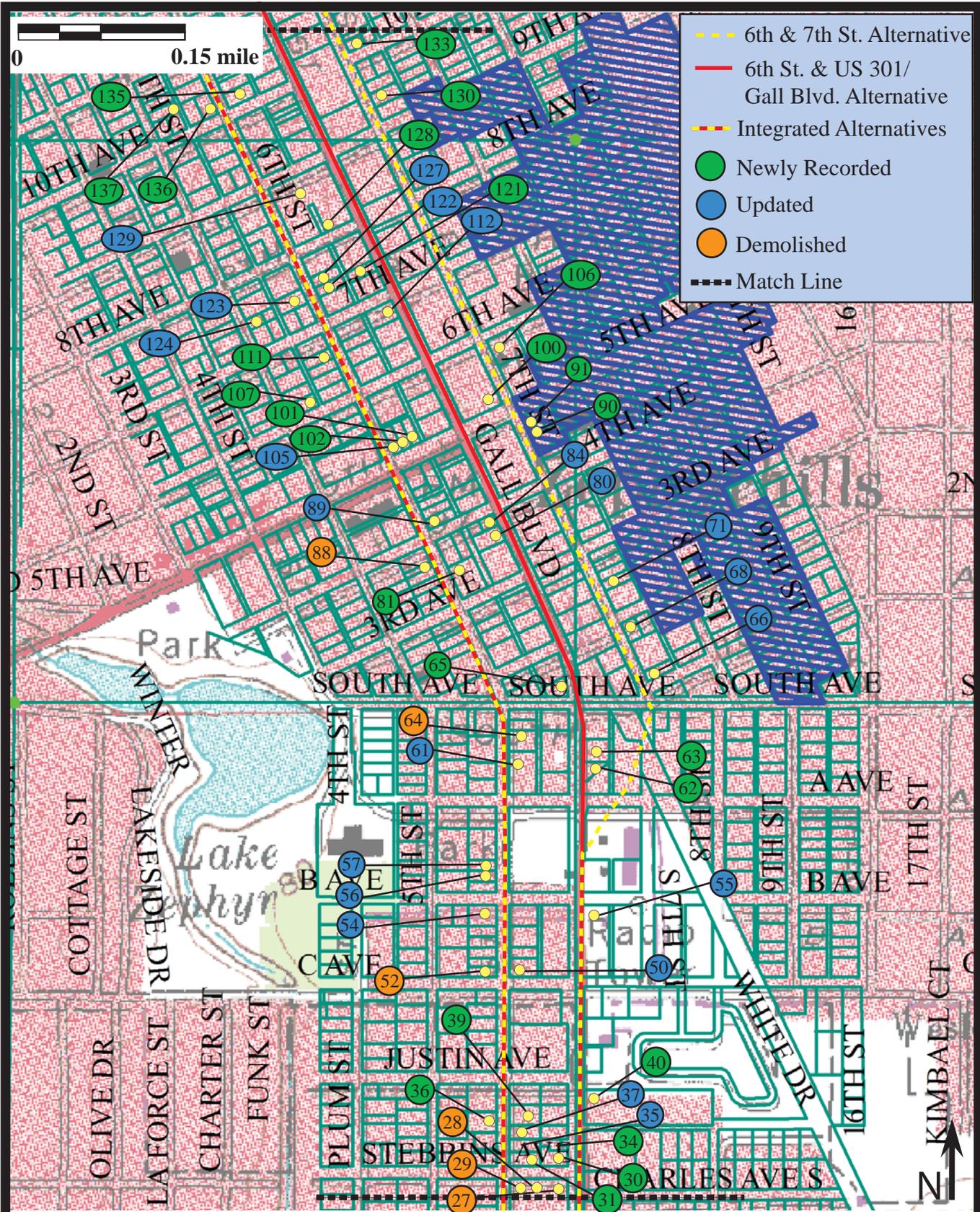
## **5.2 Description of Updated and Newly Recorded Historic Resources**

The 23 previously recorded historic resources updated as part of this survey include residential and commercial buildings constructed in both the Frame and Masonry Vernacular styles between 1910 and 1955. All have undergone some degree of alteration, including changes in exterior cladding, in massing (e.g., additions, enclosed porches), and/or by the removal of a characteristic architectural element (e.g., chimney). The 53 newly recorded historic resources range in date from 1940 through 1960. Most of these residential and commercial buildings are Frame Vernacular or Masonry Vernacular in style. Individually, the historic resources represent commonly occurring types of architecture for the City of Zephyrhills and the surrounding area, and available data did not indicate any historical significance. None of the 53 newly recorded historic buildings is considered potentially eligible for individual listing in the NRHP. One newly recorded historic structure (8PA2742) is located within the historic district boundaries and was considered a contributing resource. However, it was not previously recorded. No changes to the boundary of the Zephyrhills Downtown Historic District were made as the result of this survey. Brief descriptions and selected photographs for the newly recorded as well as updated historic resources follow.



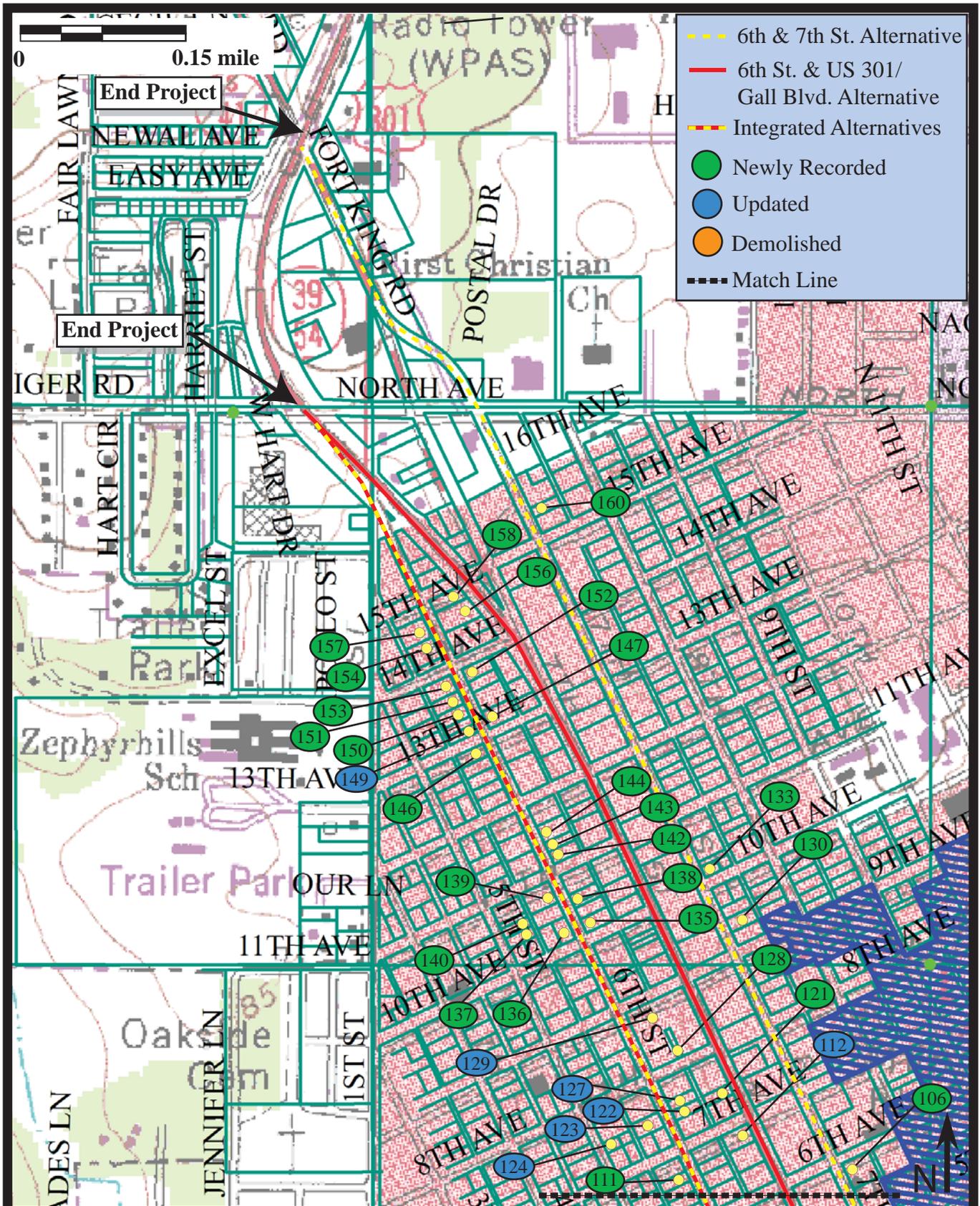
**Figure 9.** Location of demolished (orange), updated (blue) and newly recorded (green) historic resources within the US 301 (SR 41) project APE (USGS 1977 Zephyrhills mrg.3418.tif). Numbers correspond to Table 3.

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
 Pasco County



**Figure 10.** Location of demolished (orange), updated (blue) and newly recorded (green) historic resources within the US 301 (SR 41) project APE (USGS 1977 Zephyrhills mrg.3418.tif). Numbers correspond to Table 3. Boundary of the Zephyrhills Downtown Historic District (8PA1357) depicted by blue diagonal stripes.

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
 Pasco County



**Figure 11.** Location of updated (blue) and newly recorded (green) historic resources within the US 301 (SR 41) project APE (USGS 1977 Zephyrhills mrg.3418.tif). Numbers correspond to Table 3. Boundary of the Zephyrhills Downtown Historic District (8PA1357) depicted by blue diagonal stripes.

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
 to South of CR 54,  
 Pasco County



**Photo 5.** South and east elevations of 3653 Old Crystal Springs Road (8PA2720).

**8PA2720:** The Industrial Vernacular/Commercial style building located at 3653 Old Crystal Springs Road (**Photo 5; Figure 9/-#1**) was constructed ca. 1950. The concrete block walls, clad in fieldstone veneer, are supported by a slab foundation and are topped by a gable roof covered in corrugated metal. The building was altered ca. 1980 with replacement doors and roof. There are four garage bays on the east elevation. A historic residence, 3657 Old Crystal Springs Road (8PA2721), is located on this parcel to the north. This is a typical example of an Industrial Vernacular and Commercial style building, and limited research revealed no significant historical associations. Therefore 8PA2720 does not appear eligible for listing in the NRHP.



**Photo 6.** East elevation of 3657 Old Crystal Springs Road (8PA2721).

**8PA2721:** The Masonry Vernacular style building at 3657 Old Crystal Springs Road (**Photo 6; Figure 9/-#2**) was constructed ca. 1950. A slab foundation supports the concrete block walls that are clad in stucco and fieldstone veneer. The gable and shed roof is covered in

corrugated metal (ca. 1980) and the replacement windows are 2/2 single hung sash (ca. 1970). The main entrance is located on the east elevation within a closed porch. Another closed porch is located on the south elevation. A non-historic garage is located to the northwest. This is a typical example of the Masonry Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2721 does not appear eligible for listing in the NRHP.



**Photo 7.** North and east elevations of 3927 Old Crystal Springs Road (8PA1164).



**Photo 8.** Looking southwest at 3927 Old Crystal Springs Road (8PA1164).



**Photo 9.** Looking northwest at 3927 Old Crystal Springs Road (8PA1164).

**8PA1164:** Clydes Cottages, the group of Masonry Vernacular style buildings at 3927 Old Crystal Springs Road (**Figure 9/-#3**), was constructed ca. 1950. These buildings were originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999). The main building (**Photo 7**), used as an office, was described as a one-story concrete block building with a clipped gable roof, a brick chimney, vertical paneling, three-light awning windows, and an east porch. Five additional Masonry Vernacular style buildings were used as cottages. All are of similar design and materials (**Photos 8 and 9**), and feature concrete block construction, hip roofs clad with composition shingles, metal shed awnings over the entrances, and six- and eight-light casement and jalousie windows. In 1999, ACI noted that this was a typical example of a motor court with no historical significance, and thus, was not eligible for listing in the NRHP; the SHPO concurred in 2001. The update survey indicated that one of the buildings, located to the far west, currently is used as a laundry facility. It has been altered with a north addition and vinyl siding (ca. 2000). This is a typical example of the Masonry Vernacular style used as a mid-century motor court, and current research did not reveal any significant historical associations. Similar resources are not uncommon in this part of Pasco County, such as the Country Cottages Resource Group (8PA2595), also located along US 301 (SR 39), and comprised of six ca. 1950 Masonry Vernacular style buildings. Therefore, 8PA1164 does not meet the NRHP eligibility criteria. Because Clydes Cottages was originally recorded using a Historic Structures form rather than a Resource Group form, and was evaluated as ineligible for listing in the NRHP as 8PA1164, a new Resource Group form was not prepared, so as to maintain consistency and avoid confusion.



**Photo 10.** North and east elevations of the Twilite Motel, 4040 Gall Boulevard (8PA2722).

**8PA2722:** The Twilite Motel (**Photo 10; Figure 9/-#6**), located at 4040 Gall Boulevard, was constructed in the Masonry Vernacular style ca. 1958. The L-shaped building features stucco-clad concrete block walls supported by a slab foundation and topped with a gable roof covered in asphalt shingles. The replacement windows are three-light awning (ca. 1970) and 1/1 single hung sash (ca. 2000). Each of the units is accessed via a wood swing door and is under a canopy that stretches across the north and west elevations. A historic pool is located to the west. This is a typical example of the Masonry Vernacular style motel commonly found throughout Pasco County. Research did not reveal any significant historical associations; therefore, 8PA2722 does not appear eligible for listing in the NRHP.

**8PA2724:** The Masonry Vernacular style commercial building at 4103 Gall Boulevard (**Figure 9/-#7**) was constructed ca. 1950. The slab foundation supports the concrete block walls that are clad in stucco and painted brick veneer. The front half of the building features a flat roof with a ca. 1970 parapet, 1/1 single hung sash windows (ca. 1970), projecting window sills, and replacement three-light, one-panel wood swing doors (ca. 1970). The rear half of the building features a gable roof with plywood sheathing in the gables, and two garage bays. This vacant building is a typical example of the Masonry Vernacular style found throughout Pasco County. Furthermore, limited research revealed no significant historical associations. Therefore, 8PA2724 does not appear eligible for listing in the NRHP.

**8PA2723:** The Commercial style building at 4106 Gall Boulevard (**Figure 9/-#9**) was constructed ca. 1958. The building, supported by a slab foundation, features concrete block walls that are clad in corrugated metal and vertical board (ca. 1970). The flat roof is covered in built-up material and has a ca. 1970 shed parapet and provides a canopy over the commercial storefronts and two garage bays. The windows are three-light awning and one-light fixed. The previously recorded Frame Vernacular residence, 8PA1165 at 38524 Foss Lane, is located to the east. This is a typical Commercial style building found throughout Pasco County, and limited research revealed no significant associations. Therefore, 8PA2723 does not appear eligible for listing in the NRHP.

**8PA2725:** The Commercial style building at 4127 Gall Boulevard (**Figure 9/-#10**) was built ca. 1948. The stucco-clad concrete block walls (ca. 1970) support a butterfly roof with built-up material. The building features replacement one-light fixed windows, and a walk-up window on the east elevation. Two non-historic storage sheds are also on the property to the north. This is a typical Commercial style building found throughout Pasco County, and limited research revealed no significant associations. Therefore, 8PA2725 does not appear eligible for listing in the NRHP.



**Photo 11.** North elevation of 38434 Fir Avenue (8PA2726).

**8PA2726:** The Masonry Vernacular style residence at 38434 Fir Avenue (**Photo 11; Figure 9/-#15**) was built ca. 1960. The slab foundation supports the concrete block walls clad in stucco. The house features a hip roof that is covered in asphalt shingles, a brick chimney on the south slope, and windows that are two- and three-light awning. Other original architectural features include applied decorative stucco panels framing the windows and an attached carport used as a porch on the north and east elevations. This is a typical example of the Masonry Vernacular style found throughout Pasco County. Furthermore, limited research revealed no significant historical associations. Therefore, 8PA2726 does not appear eligible for listing in the NRHP.

**8PA2727:** The vacant “Produce Stand” at 4250 Gall Boulevard (**Figure 9/-#13**) was constructed ca. 1955 in the Masonry Vernacular style. This building features a slab foundation, concrete block walls, a gable roof with asphalt shingles and gable vents, and a ca. 1995 replacement entrance on the west elevation that is accessed by a ca. 2000 shed addition that was used as a produce stand. This is a typical example of the Masonry Vernacular style found throughout Pasco County. Furthermore, limited research revealed no significant historical associations. Therefore, 8PA2727 does not appear eligible for listing in the NRHP.



**Photo 12.** The south and east elevations of 4345 6<sup>th</sup> Street (8PA2728).

**8PA2728:** The Masonry Vernacular residence at 4345 6<sup>th</sup> Street (**Photo 12; Figure 9/-#19**) was constructed ca. 1952. The stucco-clad concrete block walls are supported by a slab foundation. The hip roof is covered in asphalt shingles (ca. 1990). The replacement windows (ca. 1990) are 1/1 single hung sash and three-light awning, and have fixed window shutters. The main entrance is a 1/1 single hung sash, one-panel wood swing door on the east elevation that is accessed via an open porch with a gable roof. Other original architectural features include scroll porch posts and projecting window sills. A non-historic carport is to the south. This is a typical example of the Masonry Vernacular style found throughout Pasco County. Furthermore, limited research revealed no significant historical associations. Therefore, 8PA2728 does not appear eligible for listing in the NRHP.

**8PA2729:** The vacant Masonry Vernacular style commercial building at 4404 Gall Boulevard (**Figure 9/-#16**) was constructed ca. 1940. The slab foundation supports the concrete block walls that are clad in stucco. The hip roof is covered in 5-V crimp and the replacement windows, with projecting window sills, are one-light fixed (ca. 2000). Other architectural features include a ca. 1970 south addition, and a ca. 2000 open porch on the west elevation with a shed roof that provides access to the main entrance. This a typical example of a commercial Masonry Vernacular style building found throughout Pasco County, and limited research revealed no significant historical associations. Additions and alterations also compromise its integrity. Therefore, 8PA2729 does not appear eligible for listing in the NRHP.

**8PA2730:** The vacant motel building at 4435 Gall Boulevard (**Figure 9/-#22**) was constructed in the Masonry Vernacular style ca. 1958. This building features a slab foundation, concrete block walls, and a gable roof with corrugated metal (ca. 2000). The windows are three-light awning and 1/1 single hung sash. An open porch on the south elevation with a shed roof and Y posts provides access to all the units. The wood swing doors to each unit were replaced ca. 1980; however, one entrance was filled in with stucco ca. 1980. Ancillary features include two non-historic trailers to the west. This is a typical example of a commercially used Masonry Vernacular style building found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2730 does not appear to be eligible for listing in the NRHP.

**8PA2731:** The Masonry Vernacular style building at 4553 Gall Boulevard (**Figures 9 and 6/-#30**) was built ca. 1956. The stucco-clad walls rest on a slab foundation and are topped with a gable roof covered in 5-V crimp and corrugated metal (ca. 1980). The main entrance is accessed via an open porch with a shed roof on the south elevation. Other architectural features include six-light casement windows, exposed rafter tails, vertical board in the gables, gable vents, and a ca. 1970 addition on the west elevation. This is a typical example of the Masonry Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Therefore 8PA2731 is not considered eligible for listing in the NRHP.



**Photo 13.** South elevation of 4601 Gall Boulevard (8PA2732).

**8PA2732:** The residence at 4601 Gall Boulevard (**Photo 13; Figures 9 and 10/-#31**) was built in the Masonry Vernacular style ca. 1956. The house features a slab foundation, stucco-clad concrete block walls, and a gable roof with asphalt shingles and exposed rafter tails. The original windows are four-, six-, and eight-light casement; however, some were filled in ca. 1990 and altered to accommodate an air conditioning unit. An addition was constructed on the south elevation ca. 1980. This is a typical example of a Masonry Vernacular style residence and the limited research revealed no significant historical associations. In addition, the alterations to the windows and the addition compromise its architectural integrity. Therefore, 8PA2732 is not considered eligible for listing in the NRHP.

**8PA2736:** The Masonry Vernacular style residence at 4605 Gall Boulevard (**Figures 9 and 10/-#34**) was constructed ca. 1950. The residence features a slab foundation which supports the concrete block walls partially clad in vertical board (ca. 1970), a gable roof covered in 5-V crimp, and six-light casement windows, some of which have been filled in with stucco on the south elevation. An historic ancillary building, a concrete block structure with stucco, is located to the south. This is a typical example of a Masonry Vernacular style residence found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2736 is not considered eligible for listing in the NRHP.



**Photo 14.** North and west elevations of 4606 6<sup>th</sup> Street (8PA1182).

**8PA1182:** The Bungalow style residence at 4606 6<sup>th</sup> Street (**Photo 14; Figure 10/-#35**) was constructed ca. 1926. This resource was originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C.R. 54 Pasco County, Florida* (ACI 1999). It was described as a one-story building with vinyl siding, a gable roof covered with 5-V crimp, double hung sash windows, a masonry chimney, two open porches, a ca. 1985 east addition, and a detached ca. 1985 shed to the south. ACI noted that this resource was one of many such type of residence with no historic significance, and thus, was not eligible for listing in the NRHP; the SHPO concurred in 2001. The update survey revealed that ca. 2000, stucco and fieldstone veneer was added to the exterior fabric, and the roofing material was replaced with asphalt shingles. Both the gable vent and metal porch railings have been removed, and changes have been made to the porch support posts and window surrounds on the front elevation. These alterations have diminished the architectural integrity of the bungalow. Therefore 8PA1182 is still considered ineligible for listing in the NRHP.



**Photo 15.** South and west elevations of 4612 6<sup>th</sup> Street (8PA1183)

**8PA1183:** The Bungalow style residence at 4612 6<sup>th</sup> Street (**Photo 15; Figure 10/-#37**) was constructed ca. 1926. This resource was originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999). It was described as a one-story building with vinyl siding, a gable roof covered with composition shingles, double hung sash windows and jalousie windows, a brick chimney, an open porch, and a ca. 1960 east addition. A detached garage is located to the south. ACI noted that this resource was one of many such type of residence with no historic significance, and thus, was evaluated as ineligible for listing in the NRHP; the SHPO concurred in 2001. The update survey indicated that this residence has undergone alterations such as the addition of stucco to the exterior (ca. 2000), replacement porch posts, a north gable addition, and the addition of stucco quoins. Given the extent of alterations to this building, its similarity to others in Pasco County, and the lack of historical significance in the available data, 8PA1183 is still considered ineligible for listing in the NRHP.

**8PA2733:** The Masonry Vernacular style residence at 4617 6<sup>th</sup> Street (**Figure 10/-#36**) was constructed ca. 1958. The residence features a slab foundation, concrete block walls, a gable roof with asphalt shingles, and a brick chimney on the west slope. The ca. 1980 windows are three-light awning and one-light fixed with awnings. This is a typical example of the Masonry Vernacular style commonly found throughout Pasco County and research did not reveal any significant historical associations. Therefore, 8PA2733 is not considered eligible for listing in the NRHP.

**8PA2734:** The residence at 4624 6<sup>th</sup> Street (**Figure 10/-#39**) was constructed in the Masonry Vernacular style ca. 1956. The house features a continuous concrete block foundation, concrete block walls with decorative stucco bands, and a gable roof with asphalt shingles. The ca. 1990 windows are four-light awning and 2/2 single hung sash with projecting window sills and awnings. A carport was added ca. 1990 with a gable roof and corrugated metal. Other alterations include an east addition and an enclosed incised porch on the west elevation. Given the extent of alterations to this building, its similarity to others in Pasco County, and the lack of historical significance in the available data, it appears that 8PA2734 is not eligible for listing in the NRHP.



**Photo 16.** West elevation of 4622 Gall Boulevard (8PA2735)

**8PA2735:** The Commercial structure at 4622 Gall Boulevard (**Photo 16; Figure 10/#40**) was built ca. 1957. The slab foundation supports the stucco-clad concrete block walls which are topped with a flat roof. Other architectural features include one-light fixed windows and stucco arches and decorative bands between each one. A non-historic metal shed is located to the south of this building. This building was owned by the Zephyr Egg Company, founded by Jack Linville in the 1950s. The company grew and eventually became one of the state's largest egg providers. It is not known whether this company is still in operation since the Property Appraiser website did not disclose any sales information; however, a *St. Petersburg Times* article noted that in 2008 the assets of the Zephyr Egg Company were acquired by Cal-Maine Foods Inc. a Jackson, Mississippi-based firm primarily engaged in the production, grading, packing and sale of fresh shell eggs (PCPA 2010; Tillman 2008). It is not known whether the building at 4622 Gall Boulevard is vacant or occupied by the new owner, since contact by telephone was unsuccessful. While this building may have contributed to the local economy, it does not feature any exceptional architectural characteristics or historical associations. Therefore, 8PA2735 does not appear eligible for listing in the NRHP.



**Photo 17.** South and west elevations of 38427 C Avenue (8PA998).

**8PA998:** The Frame Vernacular style residence at 38427 C Avenue (**Photo 17; Figure 10/#50**) was constructed ca. 1949. This building was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one-story building with an exterior fabric of asbestos shingles, a gable roof with composition shingles, casement and jalousie windows, two metal chimneys and a north addition. Anderson noted that this residence retained “enough historic fabric to be contributing to a [unspecified] district.” However, it has not been evaluated by the SHPO. Current field survey indicated that the chimneys have been removed, the windows were replaced with 1/1 single hung sash, and the roof was noted to have composition roll. This is a typical example of a Frame Vernacular style residence commonly found throughout Pasco County. In addition, the alterations such as the removal of the chimneys and the replacement of the windows and the roofing material diminish its architectural integrity. Therefore, 8PA998 does not appear individually eligible for listing in the NRHP. A visual reconnaissance of the surrounding area did not indicate a potential for a historic district due to the low concentration of historic structures

that maintain integrity and cohesive context. Therefore, 8PA998 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.



**Photo 18.** South and east elevations of 4803 6<sup>th</sup> Street (8PA925). July 2010.



**Photo 19.** South and east elevations of 4803 6<sup>th</sup> Street (8PA925). Ca. 1999.

**8PA925:** The Craftsman style residence at 4803 6<sup>th</sup> Street (**Photos 18 and 19; Figure 10/-#54**) was constructed ca. 1940. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as one-story building with asbestos shingles, a gable roof with composition shingles, double hung sash windows, knee braces, a porch on the front (east) elevation, and a detached garage. Anderson noted that this residence retained “enough historic fabric to be contributing to a [unspecified] district.” However, it has not been evaluated by the SHPO. The update survey

revealed that this residence now has stucco as an exterior fabric (ca. 2005) and two additions, an open porch on the west elevation, and a south addition. The previously noted detached garage was not observed. This is a typical example of the Craftsman style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, alterations, such as the stucco, the south addition, and the west porch compromise its architectural integrity. Therefore, 8PA925 does not appear individually eligible for listing in the NRHP. A visual reconnaissance of the surrounding area did not indicate a potential for a historic district due to the low concentration of historic structures that maintain integrity and cohesive context. Therefore, 8PA925 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.

**8PA1189:** The Masonry Vernacular style commercial building at 4822 Gall Boulevard (**Figure 10/-#55**) was constructed ca. 1950. This resource was originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999). It was described as a one-story building with a continuous concrete foundation, concrete block walls with drop and diagonal wood siding, a gable roof with 5-V crimp, a shed canopy on the west elevation, single hung sash and one-light fixed windows, and a ca. 1990 north addition. ACI noted that this building was not eligible for listing in the NRHP because it was similar to other Masonry Vernacular style commercial buildings in Pasco County and had no significant historical associations; the SHPO concurred in 2001. Current field survey noted that the diagonal wood siding was replaced with vinyl siding, some of the windows have been filled in, the gable vent was altered, and the roof is now covered with corrugated metal. This is a typical example of a Masonry Vernacular style commercial building and the alterations such as the change in exterior fabric, filled-in windows, and the replacement roof have compromised its architectural integrity. Therefore, 8PA1189 is still not considered eligible for listing in the NRHP.

**8PA926:** The Frame Vernacular style residence at 4821 6<sup>th</sup> Street (**Figure 10/-#56**) was built ca. 1940. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one-story house with a pier foundation, replacement asbestos shingles, a gable roof with composition shingles and a chimney, replacement awning windows, a west addition, and an attached carport on the south elevation. Anderson noted that this house “retains enough historic fabric to be contributing to a [unspecified] district.” However, the SHPO determined this resource ineligible for listing in the NRHP in 2001. Current field survey noted that the chimney and carport were removed (ca. 2010) and the west addition was altered (ca. 2010; reduced in size). This is a typical example of a Frame Vernacular style residence commonly found throughout Pasco County. Limited research did not reveal any significant historical associations and the numerous alterations since its original construction compromise its integrity. Therefore, 8PA926 is not considered eligible for listing in the NRHP. A visual reconnaissance of the surrounding area did not indicate a potential for a historic district due to the low concentration of historic structures that maintain integrity and cohesive context. Therefore, 8PA926 does not appear eligible for listing in the NRHP as a contributing resource to a district.



**Photo 20.** South and east elevations of 4839 6<sup>th</sup> Street (8PA927). July 2010.



**Photo 21.** South and east elevations of 4839 6<sup>th</sup> Street (8PA927). Ca. 1999.

**8PA927:** The Frame Vernacular style residence at 4839 6<sup>th</sup> Street (**Photos 20 and 21; Figure 10/-#57**) was constructed ca. 1930. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one-story building with a concrete block pier foundation, wood frame walls with vinyl siding, a gable roof with composition shingles, double hung sash and awning windows, and a screened-in west porch. The previous form also shows the residence to have an east porch with a hip roof and metal panels. Anderson noted that this house “retains enough historic fabric to be contributing to a [unspecified] district;” the SHPO has not evaluated this resource. The update survey indicated that ca. 2000, the west porch was enclosed with a new roof line; the east porch was enclosed and the metal panels were removed. This is a typical example of a Frame Vernacular style residence, and research did not reveal any significant historical associations. In addition, the alterations and additions compromise its architectural integrity. Therefore, 8PA927

is not considered eligible for listing in the NRHP. A visual reconnaissance of the surrounding area did not indicate a potential for a historic district due to the low concentration of historic structures that maintain integrity and cohesive context. Therefore, 8PA927 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.



**Photo 22.** North and west elevations of 4930 6<sup>th</sup> Street (8PA931).

**8PA931:** The Frame Vernacular style commercial building at 4930 6<sup>th</sup> Street (**Photo 22;** **Figure 10/-#61**) was constructed ca. 1915. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a two-story residence with vinyl siding, a gable roof with composition shingles, awning and double hung sash windows, an addition on the south elevation, two additions on the east elevation, and an open porch with a shed roof on the first floor on the north elevation. Anderson noted that this resource did “not retain enough historic fabric to be contributing to a district;” it has not been evaluated by the SHPO. Current field survey noted that the building is now used commercially and a wood staircase with an open porch on the second floor was added to the north elevation ca. 2005. Other alterations include replacement doors on the second floor, and some of the windows were replaced with 6/6 single hung sash. This is a typical example of the Frame Vernacular style, and the numerous alterations and additions diminish its integrity. Therefore, 8PA931 is not eligible for listing in the NRHP.

**8PA2737:** The Masonry Vernacular style commercial building at 4932 Gall Boulevard (**Figure 10/-#62**) was built ca. 1956. The concrete block walls, partially clad in corrugated metal, rest on a slab foundation, and are topped with a gable and shed roof with 5-V crimp and corrugated metal. The windows are 2/2 single hung sash and one-light fixed. Original architectural features include weatherboard in the gables and a gable vent. Alterations include filled in garage bays on the west elevation (ca. 1980), and two additions, one on the south elevation and one on the east elevation (ca. 1980). This is a common example of the Masonry Vernacular style used commercially throughout Pasco County, and limited research did not reveal any significant historical associations. Furthermore, numerous alterations and additions have compromised its architectural integrity. Therefore, 8PA2737 is not considered eligible for listing in the NRHP.

**8PA2738:** The building at 4946 Gall Boulevard (**Figure 10/-#63**) was constructed ca. 1959 in the Commercial style. The slab foundation supports the concrete block walls that are clad in stucco and painted fieldstone veneer. A flat roof tops the main part of the building, and a shed roof covered in corrugated metal is on the ca. 1980 south addition. Other architectural features include one-light storefront windows, statue, and an attached carport on the west elevation. This typical example of the Commercial style is commonly found throughout Pasco County, and no significant historical associations were found. Therefore, 8PA2738 does not appear eligible for listing in the NRHP.

**8PA2739:** The Commercial style building at 5009 Gall Boulevard (**Figure 10/-#65**), currently used as a roadside stand, was built ca. 1960. The stucco-clad concrete block walls support a butterfly roof with built-up material. The building features one-light fixed windows, and a walk-up window on the east elevation. This is a typical Commercial style building found throughout Pasco County, and limited research revealed no significant associations. Therefore, 8PA2739 does not appear eligible for listing in the NRHP.



**Photo 23.** South and west elevations of 38541 1<sup>st</sup> Avenue (8PA1009). July 2010.

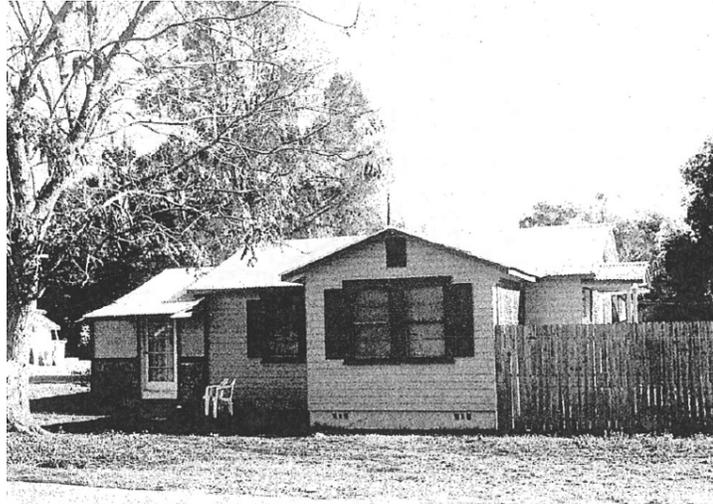


**Photo 24.** South and west elevations of 38541 1<sup>st</sup> Avenue (8PA1009). Ca. 1999.

**8PA1009:** The Frame Vernacular style residence at 38541 1<sup>st</sup> Avenue (**Photos 23 and 24; Figure 10/-#66**) was constructed ca. 1945. Originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999), it was described as a one-story building featuring a pier foundation, drop siding, a gable roof with composition shingles, a screened in south porch, single hung sash windows, and a non-historic metal shed. Anderson noted that the house “retains enough historic fabric to be contributing to a [unspecified] district.” 8PA1009 has not been evaluated by the SHPO. The update survey revealed that the house now has vinyl siding (ca. 2005), a metal foundation skirt, and corrugated metal on the gable roof. Also, the south porch was opened ca. 2005. This is a typical example of a Frame Vernacular style residence with numerous alterations and no significant historical associations. Therefore, 8PA1009 is considered ineligible for listing in the NRHP. While located proximate to the NRHP-listed Zephyrhills Downtown Historic District (8PA1357), the 1999 survey excluded this building from the district boundary. A visual reconnaissance of the surrounding area indicates that there is still a low concentration of historic structures that maintain integrity around this building, and there is no need to change the historic district boundaries. Therefore, 8PA1009 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.



**Photo 25.** North and west elevations of 5036 7<sup>th</sup> Street (8PA1190). July 2010.



**Photo 26.** West and south elevations of 5036 7<sup>th</sup> Street (8PA1190). Ca.1999.

**8PA1190:** The Frame Vernacular style commercial building at 5036 7<sup>th</sup> Street (**Photos 25 and 26; Figure 10/-#68**) was constructed ca. 1950. This resource, originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999), was described as a one-story residence featuring a continuous concrete block foundation, drop siding, a gable roof, double hung sash and awning windows, a small south porch, and several additions on the north and west elevations. ACI evaluated 8PA1190 as ineligible for the NRHP due to its commonality of type, lack of historical significance, and non-historic additions; the SHPO concurred in 2001. The update survey revealed that the building now features single hung sash windows, vinyl siding and brick veneer, an east porch, and a west porch with an access ramp. In order to accommodate the porches, the previously noted additions were altered and the roof was replaced. For the reasons noted in 1999, 8PA1190 is still considered ineligible for listing in the NRHP. While located proximate to the NRHP-listed Zephyrhills Downtown Historic District (8PA1357), the 1999 survey excluded this building from the district boundary. Therefore, 8PA1190 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.



**Photo 27.** South and west elevations of 5106 7<sup>th</sup> Street (8PA1191). July 2010.



**Photo 28.** South and west elevations of 5106 7<sup>th</sup> Street (8PA1191). Ca. 1999.

**8PA1191:** The Frame Vernacular style residence at 5106 7<sup>th</sup> Street (**Photos 27 and 28; Figure 10/-#71**) was constructed ca. 1950. This resource was originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999). It was described as a one-story building with a pier foundation, drop siding, a gable roof with a masonry chimney, double hung sash and jalousie window, an enclosed west porch, and an east addition. ACI noted that this residence was ineligible for listing in the NRHP because it is a typical example of the Frame Vernacular style with compromised integrity due to the non-historic alterations. The SHPO concurred in 2001. The update survey revealed that this residence now has replacement vinyl siding and single hung sash windows (ca. 2005), the west porch was reconfigured with the relocation of the windows and entrance, and the chimney was removed. These numerous alterations further diminish its integrity, and as a result, 8PA1191 is still considered ineligible for listing in the NRHP. While located proximate to the NRHP-listed Zephyrhills Downtown Historic District (8PA1357), the 1999 survey excluded this building from the district boundary. Therefore, 8PA1191 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.



**Photo 29.** West elevation of 5110 6<sup>th</sup> Street (8PA2740).

**8PA2740:** The residence at 5110 6<sup>th</sup> Street (**Photo 29; Figure 10/-#81** ) was built ca. 1955 in the Masonry Vernacular style. The slab foundation supports the concrete block walls that are clad in stucco and tile veneer (ca. 2000). The house is topped with a gable roof covered with composition shingles; there is a masonry chimney on the north elevation. The windows include original 3/1 double hung sash and replacement (ca. 1980) 1/1 and 2/2 single hung sash, and an octagon window. Other architectural features include an entrance gate, projecting window sills, wood siding in the gables, and a ca. 1980 addition on the north elevation. An open porch is on the west elevation and provides access to the main entrance, a ca. 2005 one-light vinyl swing door. This is a typical example of a Masonry Vernacular style residence found throughout Pasco County Limited research did not reveal any significant historical associations and the numerous alterations and the addition diminish its architectural integrity. Therefore, 8PA2740 is not considered eligible for listing in the NRHP.



**Photo 30.** North and east elevations of 5131 Gall Boulevard (8PA916). July 2010.

Note that the previously recorded Quonset hut is still partially visible.



**Photo 31.** South and east elevations of 5131 Gall Boulevard (8PA916). July 2010.



**Photo 32.** North and east elevations of 5131 Gall Boulevard (8PA916). Ca. 1999.

**8PA916:** The Quonset hut at 5131 Gall Boulevard (**Photos 30 – 32; Figure 10/-#80**) was constructed ca. 1949. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a metal frame structure with corrugated metal, pivot and fixed windows, a false stepped parapet on the east elevation, and a concrete block addition on the west elevation. Anderson noted that this building “retains enough historic fabric to be contributing to a [unspecified] district;” however, the SHPO has not evaluated this resource. Current field survey noted that this building now represents the Industrial Vernacular style and has undergone numerous alterations including replacement two-light storefront windows, commercial doors, and a wrap-around addition on the north and east elevations (ca. 2008) with stucco and a two-story tower. This is a typical example of an Industrial Vernacular style commercial building used throughout Pasco County, and the numerous alterations and prominent addition diminish its architectural integrity. Therefore, 8PA916 is not considered eligible for listing in the NRHP. A visual reconnaissance of

the surrounding area did not indicate a potential for a historic district due to the low concentration of historic structures that maintain integrity and cohesive context. Therefore, 8PA916 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.

**8PA917:** The Masonry Vernacular style commercial building at 5139 Gall Boulevard (**Figure 10/-#84**) was constructed ca. 1930. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one-story building with masonry walls of brick, molded concrete block, and stucco; a hip roof with composition shingles; a flat-roof east addition with an open porch; and filled in or boarded windows. Anderson noted that this was not eligible for listing in the NRHP because it did not retain enough integrity to be included in a district. This resource has not been evaluated by the SHPO. The update survey revealed that more stucco was applied, a hip parapet was added to the east elevation, and the windows were replaced with 1/1 single hung sash, all ca. 2005. This is a typical example of a Masonry Vernacular style commercial building and research did not reveal any significant historical associations. Therefore, 8PA917 does not appear eligible for listing in the NRHP.



**Photo 33.** West elevation of 5132 6<sup>th</sup> Street (8PA941).

**8PA941:** The vacant Frame Vernacular style building at 5132 6<sup>th</sup> Street (**Photo 33; Figure 10/-#89**) was constructed ca. 1910. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one-story residence with a concrete block pier foundation, weatherboard-clad walls, a gable roof with 5-V crimp and two brick chimneys, double hung sash windows, a bay window on the north and south elevations, scrolled brackets, exposed rafter tails, and open porches on the east [west?] and south elevations. Anderson noted that this residence retained “enough historic fabric to be contributing to a [unspecified] district;” however, it has not been evaluated by the SHPO. Current field survey noted that this building has replacement vertical board siding (ca. 2006), the chimneys and decorative brackets were removed, and a half wall was constructed on the west porch. This is a typical example of the Frame Vernacular style found throughout Pasco County, and limited research did not reveal any significant historical associations. In addition, the numerous alterations to this building compromise its integrity. Therefore, 8PA941 does not appear eligible for listing in the NRHP. A visual reconnaissance of the surrounding area did not indicate a potential for a historic district due to the low concentration

of historic structures that maintain integrity and cohesive context. Therefore, 8PA941 does not appear eligible for listing in the NRHP as a contributing resource to a potential historic district.



**Photo 34.** South and east elevations of 5214 7<sup>th</sup> Avenue (8PA2741).

**8PA2741:** The Masonry Vernacular style duplex at 5214 7<sup>th</sup> Avenue (**Photo 34; Figure 10/-#90**) was constructed ca. 1952. The slab foundation supports the concrete block walls that are topped with a gable roof with asbestos shingles and two brick chimneys on the east and west elevations. Other architectural features include ca. 1970 1/1 single hung sash and three-light awning windows, projecting window sills, and a canopy over the door. Although this building is located adjacent to the Zephyrhills Downtown Historic District (8PA1357), it does not appear that it would contribute either architecturally or historically to the district. In addition, this is a typical example of a Masonry Vernacular style duplex found throughout Pasco County, and limited research did not reveal any significant historical associations. Therefore 8PA2741 is not considered eligible for listing in the NRHP.



**Photo 35.** West elevation of 5210 7<sup>th</sup> Avenue (8PA2742).

**8PA2742:** The Commercial style building at 5210 7<sup>th</sup> Avenue (**Photo 35; Figure 10/#91**) was constructed ca. 1952. The building features a slab foundation, concrete block walls that are partially clad in brick veneer, and a gable roof with composition shingles and a hipped parapet, and ca. 1970 2/2 and 6/6 single hung sash windows. The main entrance, a 1/1 single hung sash metal swing door, is on the west elevation. This Commercial style building does not appear to be individually eligible for listing in the NRHP. However, it was included as a contributing resource to the Zephyrhills Downtown Historic District, 8PA1357 with the address 5212 7<sup>th</sup> Avenue noted on the historic district map, but was not previously recorded.



**Photo 36.** South elevation of 38329 5<sup>th</sup> Avenue (8PA1046). July 2010.



**Photo 37.** South elevation of 38329 5<sup>th</sup> Avenue (8PA1046). Ca. 1999.

**8PA1046:** The vacant Masonry Vernacular style commercial building at 38329 5<sup>th</sup> Avenue (**Photos 36 and 37; Figure 10/-#105**) was constructed ca. 1949. This resource was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one-story building with stucco-clad concrete block walls, a flat roof with a center parapet, one-light fixed windows, and an eyebrow ledge over a storefront. Anderson noted that this building “retains enough historic fabric to be contributing to a [unspecified] district.” It has not been evaluated by the SHPO. The update survey indicated that the main entrance was replaced ca. 2000 with a double one-light commercial swing door, and a ca. 2000 addition connects this building to the adjacent Commercial style building at 38325 5<sup>th</sup> Avenue. This is a typical Commercial style building commonly found throughout Pasco County, and research did not reveal any significant historical associations. Furthermore, alterations including the significant addition compromise its architectural integrity. A visual reconnaissance of the area did not indicate a potential to either alter the existing Zephyrhills Downtown Historic District (8PA1357) or to recommend a separate commercial historic district due to a low concentration of historic commercial buildings that maintain sufficient architectural integrity and the lack of cohesive context. Therefore, 8PA1046 is not considered eligible for listing in the NRHP, either individually or as a contributing resource to an existing or potential historic district.



**Photo 38.** South elevation of 38333 5<sup>th</sup> Avenue (8PA2743).

**8PA2743:** The Zephyrhills News building at 38333 5<sup>th</sup> Avenue (**Photo 38; Figure 10/-#102**) was constructed ca. 1959 in the Masonry Vernacular style. The slab foundation supports the concrete block walls that are clad in stucco and fieldstone veneer and topped with a flat roof. This commercial building also has Modern features such as ribbons of 2/1 and 2/2 single hung sash windows, a low canopy, and a vertical projection covered in fieldstone veneer on the south elevation. Research revealed that this building was constructed for local businessman Logan C. Peeples (Elkins 2008). This is an example of a Masonry Vernacular style commercial building commonly found throughout Pasco County and lacks any significant historic associations. A visual reconnaissance of the area did not indicate a potential to either alter the existing Zephyrhills Downtown Historic District (8PA1357) or to recommend a separate commercial historic district due to a low concentration of historic commercial buildings that maintain sufficient architectural integrity and the lack of cohesive context. Therefore, 8PA2743 is not considered eligible for listing in the NRHP, either individually or as a contributing resource to an existing or potential historic district.



**Photo 39.** South and west elevations of 38343 5<sup>th</sup> Avenue (8PA2744).

**8PA2744:** The Commercial style building at 38343 5<sup>th</sup> Avenue (**Photo 39; Figure 10/-#101**) was constructed ca. 1954. The slab foundation supports the concrete block walls that are clad in stucco and tile and topped with a flat roof. This building also features one-light storefront windows, and a low canopy on the south elevation. Research revealed that this building was constructed for local businessman Logan C. Peeples (Elkins 2008). This is an example of a Commercial style building commonly found throughout Pasco County. A visual reconnaissance of the area did not indicate a potential to either alter the existing Zephyrhills Downtown Historic District (8PA1357) or to recommend a separate commercial historic district due to a low concentration of historic commercial buildings that maintain sufficient architectural integrity and lack of cohesive context. Therefore, 8PA2744 is not considered eligible for listing in the NRHP, either individually or as a contributing resource to an existing or potential historic district.



**Photo 40.** South and west elevations of 38415 5<sup>th</sup> Avenue (8PA2745).

**8PA2745:** The vacant commercial building at 38415 5<sup>th</sup> Avenue (**Photo 40; Figure 10/-#100**) was constructed ca. 1956 in the Modern style. The slab foundation supports the concrete block walls that are partially clad in a brick veneer. The building is topped with a flat roof covered in built-up material and provides a wide canopy. This canopy covers an open porch on the south elevation with a diagonal porch post. Other architectural features include four-light awning windows and glass block. While this building appears to be an intact example of the Modern style in Pasco County, research did not reveal any significant historical associations. This building is near the Zephyrhills Downtown Historic District; however, the construction date of this building is outside the period of significance and its addition would not contribute to the overall historic context or integrity of the District. Therefore, 8PA2745 does not appear eligible for listing in the NRHP, either individually or as a contributing resource.



**Photo 41.** North and west elevations of 38410 6<sup>th</sup> Avenue (8PA2746).

**8PA2746:** The fire station at 38410 6<sup>th</sup> Avenue (**Photo 41; Figures 10 and 11/-#106**) was built in the Masonry Vernacular style ca. 1960. This building features a slab foundation, concrete block walls, a flat roof, and garage bays. There is a tower on the southwest elevation with punched concrete block and a ca. 1980 east addition with additional garage bays. While this building is locally significant for its continual use as a fire station, it does not feature any exceptional architectural characteristics or historical associations. Therefore, 8PA2746 is not considered eligible for listing in the NRHP.



**Photo 42.** South and east elevations of 5345 +/- Gall Boulevard (8PA922). July 2010.



**Photo 43.** South and east elevations of 5345 +/- Gall Boulevard (8PA922). Ca. 1999.

**8PA922:** The commercial Frame Vernacular style building at 5345 +/- Gall Boulevard (Photos 42 and 43; Figures 10 and 11/-#112) was constructed ca. 1920. This resource was originally noted by James Horgan in the *Historic Places of Pasco County* in 1992 (Horgan 1992) as the Trotman Home, an early-Florida rural-style home built by A.E. Pennington. The home was first recorded in the FMSF in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). The one-and-a-half story building was described as a Craftsman style residence with drop-siding, a gable roof with a gable dormer and 5-V crimp, awning windows, two rear additions, an open porch on the east elevation, knee braces, and exposed rafter tails. Anderson noted that this building retained “enough historic fabric to be contributing to a [unspecified] district.” It has not been evaluated by the SHPO. The update survey revealed that this building is now used commercially and has undergone substantial alterations (ca. 2000) including enclosing the east porch, replacing the awning windows for 1/1 single hung sash (8/8 and 6/6 SDL), replacing the roof with corrugated metal, adding vinyl siding, and building an addition on the northeast elevation. Given the extent of alterations to this

building, it appears that 8PA922 is not eligible for listing in the NRHP due to its compromised integrity.

**8PA2747:** The Masonry Vernacular style residence at 5303 6<sup>th</sup> Street (**Figures 10 and 11/-#111**) was constructed ca. 1955. The concrete block walls are supported by a slab foundation and topped with a gable roof covered in asphalt shingles. Other architectural features include ca. 2000 1/1 single hung sash windows, original projecting window sills, and gable vents. An open porch with scrolled porch posts is on the west elevation and provides access to the main entrance, a wood swing door. This is a typical example of a Masonry Vernacular style residence commonly found throughout Pasco County. In addition, research did not reveal any significant historical associations. Therefore, 8PA2747 is not considered eligible for listing in the NRHP.



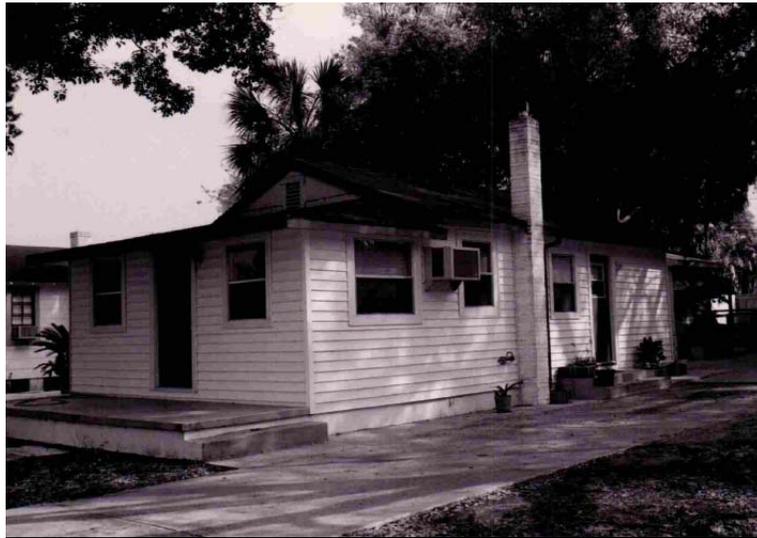
**Photo 44.** South and west elevations of 5232 5<sup>th</sup> Street (8PA2748).

**8PA2748:** The Frame Vernacular residence at 5232 5<sup>th</sup> Street (**Photo 44; Figure 10/-#107**) was built ca. 1955. The continuous concrete block foundation supports the wood frame walls clad in vinyl siding. The residence is topped with a hip roof covered with composition shingles. The replacement windows include one-light fixed with one-light sidelights (ca. 1970) and 1/1 single hung sash (ca. 2000). This building also features an incised porch on the west elevation that provides access to the main entrance, and a ca. 1970 east addition. This is a typical example of a Frame Vernacular style residence in Pasco County, and limited research revealed no significant historical associations. Furthermore, the alterations and additions have diminished its architectural integrity. Therefore, 8PA2748 does not appear eligible for listing in the NRHP.

**8PA2749:** The building at 5355 Gall Boulevard (**Figures 10 and 11/-#121**) was constructed ca. 1955 in the Commercial style. The building features a slab foundation, concrete block walls, a gable roof covered with asphalt shingles and a stepped parapet. The windows are one-light fixed with jalousie sidelights and have projecting window sills. This is a typical example of a Commercial style building found in Pasco County and limited research revealed no significant historical associations. Therefore, 8PA2749 is not considered eligible for listing in the NRHP.



**Photo 45.** South and west elevations of 5336 6<sup>th</sup> Street (8PA949). July 2010.



**Photo 46.** South and west elevations of 5336 6<sup>th</sup> Street (8PA949). Ca. 1999.

**8PA949:** The Frame Vernacular style residence at 5336 6<sup>th</sup> Street (**Photos 45 and 46; Figure 10/-#122**) was constructed ca. 1922. Originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999), it was described as a one story-building featuring wood frame walls, vinyl siding, a gable roof with composition shingles, an enclosed west porch with a hipped roof, a brick chimney, and replacement 1/1 single hung sash windows. Anderson noted that this resource was not eligible for listing in the NRHP because the house lacked sufficient integrity to be contributing to a district; the SHPO has not evaluated this building. The update survey revealed that ca. 2005, the chimney was removed and the windows replaced. A gable roof covers the previously noted west porch, an additional open porch with a gable roof was added to the west elevation, and a south addition was constructed. This Frame Vernacular style residence is typical of the examples found throughout Pasco County, and limited research did not reveal any significant historical associations. Furthermore, the numerous alterations and additions compromise its architectural integrity. Therefore, 8PA949 is not eligible for listing in the NRHP.



**Photo 47.** North and west elevations of 5340 6<sup>th</sup> Street (8PA950).

**8PA950:** The Frame Vernacular style residence at 5340 6<sup>th</sup> Street (**Photo 47; Figure 10/-#127**) was constructed ca. 1940. Originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999), it was described as a one story building with a concrete block pier foundation with lattice infill, wood frame walls with asbestos shingles, a gable roof with composition shingles, single hung and double hung sash windows, an east addition, and exposed rafter tails. Anderson noted that this resource was not eligible for listing in the NRHP because the house lacked integrity to be contributing to a district; the SHPO has not evaluated this building. The update survey revealed that ca. 2005 the exterior fabric was replaced with vinyl siding, the windows were replaced with two-light awning, and the roof was covered in asphalt shingles. This is a typical example of the Frame Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, numerous alterations have compromised its architectural integrity. Therefore 8PA950 does not appear eligible for listing in the NRHP.

**8PA1285:** The Frame Vernacular style residence at 5318 5<sup>th</sup> Street (**Figures 10 and 11/-#124**) was constructed ca. 1950. This resource was originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999). It was described as a one story building with a continuous masonry foundation, wood frame walls with ca. 1980 stucco, a gable and shed roof with 5-V crimp and composition roll, a brick chimney on the north elevation, double hung sash and awning windows, and metal awnings. An east addition (ca. 1975) and a ca. 1980 carport addition were also noted. The SHPO determined this resource to be ineligible for listing in the NRHP in 2001. Current field survey noted that the chimney has been removed and the roofing material over the main part of the residence is now asphalt shingles. This is a typical example of the Frame Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, additional alterations have compromised its architectural integrity. Therefore 8PA1285 still does not appear eligible for listing in the NRHP.

**8PA1194:** The Ranch style residence at 5335 6<sup>th</sup> Street (**Figures 10 and 11/-#123**) was constructed ca. 1950. This resource was originally recorded in 1999 by ACI during the *Cultural Resource Assessment Survey of the U.S. 301/Zephyrhills PD&E Study from S.R. 39 to C. R. 54 Pasco County, Florida* (ACI 1999). It was described as a Ranch style residence with a concrete block continuous foundation with wood frame walls covered in weatherboard, a gable roof with composition shingles, single hung sash and jalousie windows, an enclosed garage, additions on the north and west elevations, and an east open porch with metal porch posts on brick piers. The SHPO determined this resource to be ineligible in 2001. Current field survey noted this resource now has vinyl siding (ca. 2005), ca. 2005 replacement single hung sash windows, and column style porch posts. This is a typical example of the Ranch style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, additional alterations have compromised its architectural integrity. Therefore 8PA1194 still does not appear eligible for listing in the NRHP.



**Photo 48.** North and west elevations of 38142 9<sup>th</sup> Street (8PA1078), July 2010.



**Photo 49.** North and west elevations of 38142 9<sup>th</sup> Street (8PA1078), ca. 1999.

**8PA1078:** The Frame Vernacular style residence at 38142 9<sup>th</sup> Street (**Photos 48 and 49; Figures 10 and 11/-#129**) was constructed ca. 1955. This was originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999). It was described as a one story building with a concrete block pier foundation, wood frame walls with drop siding, a gable roof with composition shingles, a north porch addition, awning, jalousie and double hung sash windows, and a non-historic shed to the south. Anderson noted that this building “retains enough historic fabric to be contributing to a [unspecified] district;” however, it has not been evaluated by the SHPO. The update survey revealed that this house has undergone numerous and substantial alterations. These changes include: enclosing the previously noted north porch and adding a new open north porch, replacing the roof, replacing the drop siding with stucco, replacing the windows with 1/1 single hung sash, and constructing an addition on the south elevation that connects to the previously noted non-historic shed. This is a typical example of the Frame Vernacular style and the numerous alterations and additions compromise its architectural integrity. Furthermore, research did not reveal any significant historical associations. Therefore, 8PA1078 is not considered eligible for listing in the NRHP.



**Photo 50.** South and west elevations of 38213 8<sup>th</sup> Avenue (8PA2750).

**8PA2750:** The residence at 38213 8<sup>th</sup> Avenue (**Photo 50; Figures 10 and 11/-#128**) was constructed ca. 1952 in the Masonry Vernacular style. The continuous concrete block foundation supports the concrete block walls covered in brick veneer. The hip and gable roof is covered in asphalt shingles (ca. 1980), and a masonry chimney is on the east slope. The replacement windows (ca. 1970) include two-, three-, and four-light awning, eight-light casement, and one-light fixed with four-light sidelights. An attached carport is on the north elevation. This is a typical example of the Masonry Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, alterations such as the numerous replacement windows compromise its integrity. Therefore, 8PA2750 does not appear eligible for listing in the NRHP.

**8PA2751:** The commercial Masonry Vernacular style building at 5518 7<sup>th</sup> Street (**Figure 10/-#130**) was built ca. 1960. The slab foundation supports the concrete block walls clad in stucco, brick veneer, and vinyl siding (ca. 2000). The building features a flat roof with a shed parapet (ca. 2000). This parapet provides a roof for the open porch with fluted columns on the west elevation (ca. 2000), which provides access to the main entrance, a one-light, six-panel

wood swing door with side panels. A ca. 2000 addition was constructed on the north elevation. This is a typical example of a commercial Masonry Vernacular style building found throughout Pasco County. Numerous additions diminish its integrity and research did not reveal any significant historical associations. Therefore, 8PA2751 is not eligible for listing in the NRHP.



**Photo 51.** North and west elevations of 38303 10<sup>th</sup> Avenue (8PA2752).

**8PA2752:** The commercial Frame Vernacular style building at 38303 10<sup>th</sup> Avenue (also noted as 5550 7<sup>th</sup> Street) (**Photo 51; Figures 10 and 11/-#133**) was constructed ca. 1950. The continuous concrete block foundation supports the wood frame walls clad in weatherboard. The gable roof is covered in asphalt shingles (ca. 1980) and features gable vents and a brick chimney on the north elevation. The windows are ca. 1970 2/2 single hung sash, and some have awnings over them. Other architectural features include a ca. 1980 bay window on the north elevation, an enclosed porch (ca. 1980) on the west elevation with a nine-light, two-panel door, and foundation vents. This is a typical example of the Frame Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, alterations such as the numerous windows compromise its integrity. Therefore, 8PA2752 does not appear eligible for listing in the NRHP.

**8PA2753:** The Commercial style building at 38201 10<sup>th</sup> Avenue (**Figure 11/-#135**) was constructed ca. 1954. The slab foundation supports the concrete block walls, which are topped with a gable roof with a stepped parapet. The windows include original one-light fixed and ca. 1970 jalousie. This building also features a ca. 1970 west addition and carport addition. This is a typical Commercial style building found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2753 does not appear eligible for listing in the NRHP.

**8PA2754:** The Frame Vernacular style residence at 5523 6<sup>th</sup> Street (**Figures 10 and 11/-#136**) was constructed ca. 1955. The foundation is concrete block pier with metal sheeting infill. The wood frame walls are clad in asbestos shingles, and topped with a gable roof covered in composition shingles. The original windows include 2/2 single hung sash and one-light fixed flanked with 2/2 single hung sash. Other architectural features include a gable vent, a door surround, and iron railings to the doorway. This is a typical example of the Frame Vernacular

style found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2754 does not appear eligible for listing in the NRHP.

**8PA2755:** The residence at 5510 5<sup>th</sup> Street (**Figures 10 and 11/-#137**) was constructed ca. 1955 in the Masonry Vernacular style. The residence features a slab foundation, concrete block walls with decorative stucco panels, a gable roof covered with composition shingles, and a historic utility building to the east. The original building was altered with roof, window and door replacements (ca. 2000). This is a typical example of the Masonry Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2755 does not appear eligible for listing in the NRHP.

**8PA2756:** The commercial Masonry Vernacular style building at 5536 6<sup>th</sup> Street (**Figure 11/-#138**) was constructed ca. 1955. The slab foundation supports the concrete block walls clad in stucco (ca. 2000), which are topped with a gable roof covered in asphalt shingles. The replacement windows are 1/1 single hung sash (6/6 SDL). Other architectural features include a one-light commercial swing door on the west elevation, stucco quoins, door and window surrounds, and vinyl siding in the gable. This is a typical example of the Masonry Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2756 does not appear eligible for listing in the NRHP.



**Photo 52.** North and east elevations of 5531 6<sup>th</sup> Street (8PA2757).

**8PA2757:** The Masonry Vernacular style residence at 5531 6<sup>th</sup> Street (**Photo 52; Figure 11/-#139**) was constructed ca. 1956. The concrete block walls are supported by a slab foundation and topped with a gable roof covered with composition shingles (ca. 1990). Other architectural features include replacement windows that are 2/2 single hung sash (ca. 1970), and projecting window sills. Other alterations include a ca. 1990 west addition. A part of the carport was enclosed ca. 1970 and features plywood sheeting as an exterior fabric. This is a typical example of the Masonry Vernacular style commonly found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, numerous alterations have compromised its architectural integrity. Therefore, 8PA2757 does not appear to be eligible for listing in the NRHP.



**Photo 53.** South and west elevations of 5514 5<sup>th</sup> Street (8PA2758).

**8PA2758:** The residence at 5514 5<sup>th</sup> Street (**Photo 53; Figure 11/-#140**) was constructed ca. 1955 in the Masonry Vernacular style. The building features a slab foundation, concrete block walls, a flat roof with a short canopy over the door, and jalousie windows with awnings and projecting window sills. This is a typical example of a Masonry Vernacular style residence found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2758 does not appear eligible for listing in the NRHP.



**Photo 54.** North and west elevations of 5554 6<sup>th</sup> Street (8PA2759).

**8PA2759:** The residence at 5554 6<sup>th</sup> Street (**Photo 54; Figure 11/-#142**) was constructed ca. 1955 in the Masonry Vernacular style. The house features a slab foundation, stucco-clad concrete block walls, a hip roof with asphalt shingles, and eight- and nine-light casement windows. A non-historic garage is located to the northeast. This is a typical example of a Masonry Vernacular style residence found throughout Pasco County. Furthermore, limited

research revealed no significant historical associations. Therefore, 8PA2759 does not appear eligible for listing in the NRHP.

**8PA2760:** The Masonry Vernacular style residence at 5604 6<sup>th</sup> Street (**Figure 11/-#143**) was constructed ca. 1955. The slab foundation supports the stucco-clad concrete block walls, which are topped by a hip roof covered with asphalt shingles. Other architectural features include nine-light casement windows with projecting sills, and an incised porch on the southwest elevation. This is a typical example of a Masonry Vernacular style residence found throughout Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2760 does not appear eligible for listing in the NRHP.

**8PA2761:** The Masonry Vernacular style residence at 5610 6<sup>th</sup> Street (**Figure 11/-#144**) was constructed ca. 1952. The concrete block walls, clad in stucco (ca. 1990), rest on a slab foundation and are topped by a hip roof covered with composition shingles. A brick chimney is near the ridge. The original windows include three-light awning, and six- and nine-light casement, and a glass block window was added ca. 1990. Other architectural features include an open porch on the southwest elevation with a gable roof, and projecting window sills. This is a typical example of Masonry Vernacular style residence commonly found throughout Pasco County, and limited research did not reveal any significant historical associations. Therefore, 8PA2761 is not considered eligible for listing in the NRHP.

**8PA2762:** The Masonry Vernacular style residence at 5651 6<sup>th</sup> Street (**Figure 11/-#146**) was constructed ca. 1958. The concrete block walls rest on a slab foundation. The gable roof is covered with composition roll and ca. 1990 composition shingles. The windows are either jalousie or ca. 2000 1/1 single hung sash. There are two porches on the residence, an open porch with a shed roof on the east elevation that provides access to the main entrance, and the other is an enclosed porch (ca. 1990) with a flat roof on the east elevation. Other architectural features include projecting window sills, vertical board in the gables, gable vents, and decorative porch posts. This is typical example of the Masonry Vernacular style found in Pasco County, and limited research revealed no significant historical associations. Therefore, 8PA2762 does not appear eligible for listing in the NRHP.

**8PA2763:** The commercial Masonry Vernacular style building at 38015 13<sup>th</sup> Avenue (**Figure 11/-#147**) was constructed ca. 1958. The building features a slab foundation, stucco-clad concrete block walls, and a gable roof covered with composition shingles. The ca. 2000 windows are 1/1 single hung sash. An open porch with a gable roof is on the south elevation, and provides access to the main entrance, a one-light commercial swing door. Other architectural features include gable vents, projecting window sills, and a ca. 2000 carport addition on the east elevation. This is a typical example of the Masonry Vernacular style used commercially throughout Pasco County. In addition, research did not reveal any significant historical associations. Therefore, 8PA2763 is not eligible for listing in the NRHP.



**Photo 55.** North and east elevations of 1301 6<sup>th</sup> Street (8PA954). July 2010



**Photo 56.** South and east elevations of 1301 6<sup>th</sup> Street (8PA954). Ca. 1999

**8PA954:** The Frame Vernacular style building at 1301 6<sup>th</sup> Street (also noted as 5709 6<sup>th</sup> Street) (**Photos 55 and 56; Figure 11/-#149**) was constructed ca. 1950. Originally recorded in 1999 by Sherry Anderson during the *City of Zephyrhills Historic Preservation Survey* (Quatrefoil 1999), the one-story residence was described as featuring a pier foundation, wood frame walls clad in drop siding, a gable roof covered with composition shingles, replacement 2/2 single hung sash windows, a three-light wood swing door, and an open east porch with a gable roof. Anderson noted that this building retained “enough historic fabric to be contributing to a [unspecified] district.” It has not been evaluated by the SHPO. The update survey revealed a change from residential to commercial use, and several ca. 2000 alterations, including the replacement of drop siding with vinyl siding, the removal of the porch, the addition of a new east porch with a shed roof, replacement 1/1 single hung sash windows, and a replacement simple wood swing door. Ancillary features include a non-historic shed to the southwest. This is a typical example of the Frame Vernacular style commonly found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, numerous

alterations have compromised its architectural integrity. Therefore, 8PA954 does not appear eligible for listing in the NRHP.

**8PA2764:** The Masonry Vernacular style residence at 5719 6<sup>th</sup> Street (**Figure 11/-#150**) was constructed ca. 1955. The slab foundation supports the concrete block walls. The gable roof is covered with composition shingles and has a masonry chimney on the ridge. There is an enclosed porch (ca. 1985) with a shed roof and plywood sheeting on the east elevation. Other architectural features include 2/2 single hung sash windows (ca. 1985), awnings over the windows, projecting window sills, a gable vent, and weatherboard in the gables. This is a typical example of a Masonry Vernacular style residence commonly found throughout Pasco County. Furthermore, limited research revealed no significant historical associations. Therefore, 8PA2764 does not appear eligible for listing in the NRHP.



**Photo 57.** East elevation of 5727 6<sup>th</sup> Street (8PA2765).

**8PA2765:** The Masonry Vernacular style building at 5727 6<sup>th</sup> Street (**Photo 57; Figure 11/-#151**) was constructed ca. 1959. This structure was originally used as a duplex, then was converted for use as commercial space; it is now vacant. The building features a slab foundation, concrete block walls clad in stucco and decorative brick veneer (ca. 1995), and a gable roof. Most of the windows have been filled in with concrete but those that remain are ca. 1995 one-light fixed with four-light sidelights. The remaining entrance is a pair of ca. 1995 one-light commercial swing doors. This is a typical example of the Masonry Vernacular style found throughout Pasco County, and numerous alterations compromise its integrity. Furthermore, limited research revealed no significant historical associations. A visual reconnaissance of the surrounding area did not indicate a potential for a historic district due to the low concentration of historic structures that maintain integrity and lack of cohesive context. Therefore, 8PA2765 does not appear eligible for listing in the NRHP.

**8PA2766:** The residence at 38046 14<sup>th</sup> Avenue (**Figure 11/-#152**) was constructed ca. 1960 in the Masonry Vernacular style. The house features a slab foundation, concrete block walls clad in stucco and stone veneer, a gable roof covered with composition shingles, 2/2 single hung sash windows, and a carport on the east elevation with a canopy over the entrance to the carport and the main entrance, an eight-panel wood swing door. This is a typical example of a

Masonry Vernacular style residence throughout Pasco County, and limited research did not reveal any significant historical associations. Therefore, 8PA2766 does not appear eligible for listing in the NRHP.

**8PA2767:** The Masonry Vernacular style duplex at 38032 14<sup>th</sup> Avenue (**Figure 11/-#153**) was constructed ca. 1960. The residence features a slab foundation, concrete block walls clad in stucco and brick veneer, and a gable roof with composition shingles. The windows are two-light awning and 2/2 single hung sash. Alterations (ca. 1990) include removing sidelights from one of the doors, and enclosing a portion of the carport. Other architectural features include planters on the north elevation and projecting window sills. This is a typical example of a Masonry Vernacular style residence throughout Pasco County. Furthermore, limited research did not reveal any significant historical associations. Therefore, 8PA2767 does not appear eligible for listing in the NRHP.

**8PA2768:** The vacant Masonry Vernacular style duplex at 5801 6<sup>th</sup> Street (**Figure 11/-#154**) was constructed ca. 1956. The residence features a slab foundation, concrete block walls clad in stucco and brick veneer, and a gable roof with asphalt shingles. The windows are ca. 2000 2/2 single hung sash and have projecting window sills. This is a typical example of a Masonry Vernacular style residence throughout Pasco County. Furthermore, limited research did not reveal any significant historical associations. Therefore, 8PA2768 does not appear eligible for listing in the NRHP.

**8PA2769:** The Masonry Vernacular building at 5821 Gall Boulevard (**Figure 11/-#156**) was constructed ca. 1956. The stucco-clad concrete block walls rest on a slab foundation. The gable roof is covered in asphalt shingles (ca. 2000). The windows are 6/6 single hung sash and 1/1 single hung sash (ca. 2000). Other architectural features include projecting window sills and a canopy of the main entrance. An addition was constructed on the north elevation connecting this building to the ca. 1990 building with a hip roof on the immediately adjacent parcel. This is a typical example of the Masonry Vernacular style found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, the alterations and the north addition compromise its architectural integrity. Therefore, PA2769 does not appear eligible for listing in the NRHP.



**Photo 58.** North and west elevations of 5807 6<sup>th</sup> Street (8PA2770).

**8PA2770:** The Modern style residence at 5807 6<sup>th</sup> Street (**Photo 58; Figure 11/-#157**) was constructed ca. 1959. The slab foundation supports concrete block walls that are clad in stucco and brick veneer. The roof is mostly flat but has a shed clerestory with weatherboard. The windows include two-, three-, and five-light awning, and a ribbon of one-light fixed. Other architectural features include projecting window sills, stucco pilasters, planters on the east elevation, a wide canopy on the main façade, and a five-panel wood swing door on the east elevation. An addition was constructed on the north elevation ca. 1970. A non-historic carport is to the north. This is a typical example of a Modern style residence with no exceptional architectural features. Limited research did not reveal any significant historical associations. Therefore, 8PA2770 does not appear eligible for listing in the NRHP.

**8PA2771:** The Masonry Vernacular style commercial building at 5829 Gall Boulevard (**Figure 11/-#158**) was constructed ca. 1959. This building features a slab foundation, concrete block walls, a shed roof with a decorative eave, and one-light fixed windows. It appears that this building once had two entrances, but one was covered with plywood ca. 1990. This is a typical example of a Masonry Vernacular style commercial building throughout Pasco County. Furthermore, limited research did not reveal any significant historical associations. Therefore, 8PA2771 does not appear eligible for listing in the NRHP.



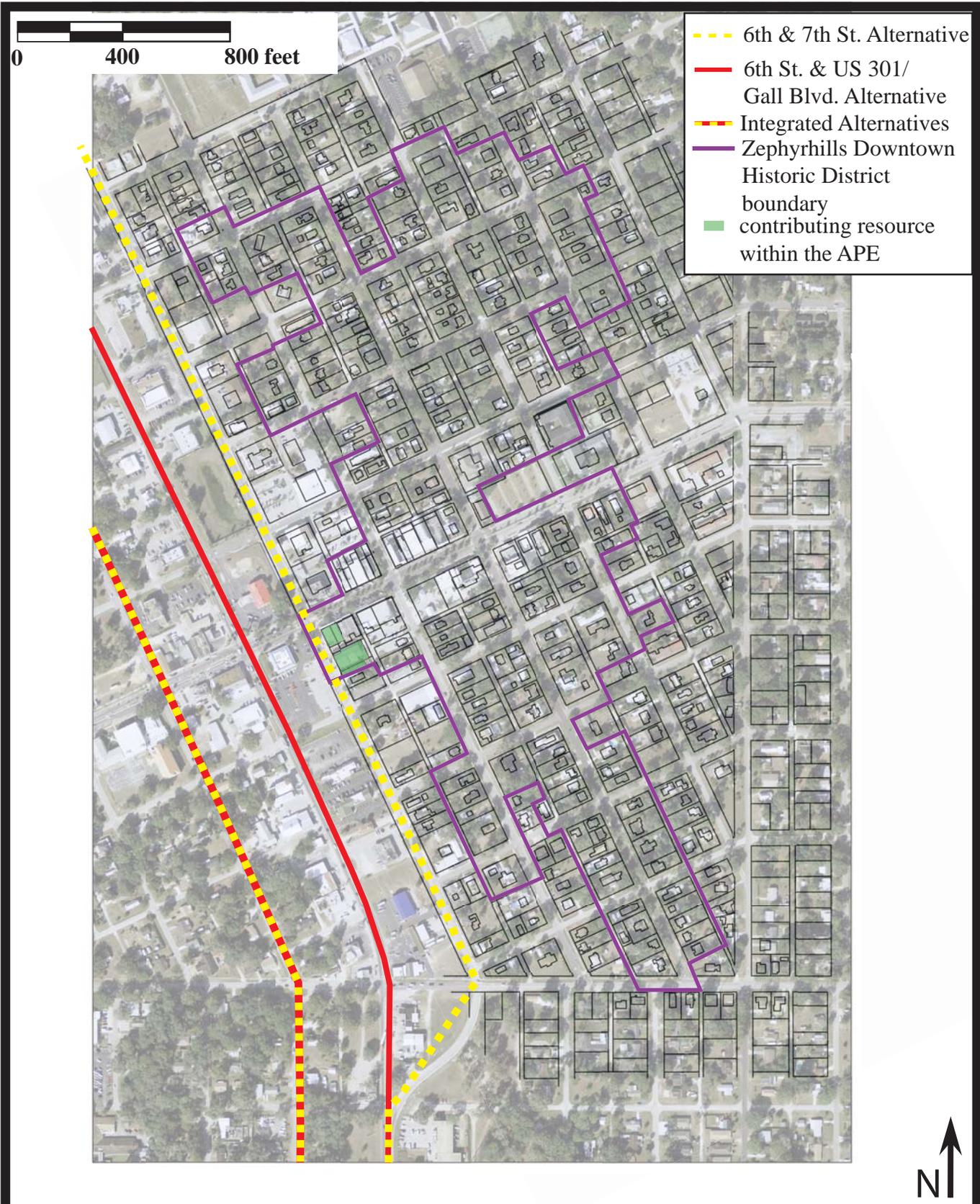
**Photo 59.** South and west elevations of 5904 7<sup>th</sup> Street (8PA2772).

**8PA2772:** The Commercial style building at 5904 7<sup>th</sup> Street was constructed ca. 1960 (**Photo 59; Figure 11/-#160**). The slab foundation supports the concrete block walls that are clad in stucco (ca. 1980) and painted brick veneer. A shed and flat roof with a brick chimney is over the main part of the building, and is covered in built-up roofing. The windows are one-light fixed and 1/1 single hung sash. An open porch on the west elevation, with a shed roof, also acts as a parapet (ca. 1980). There are two east additions; both are covered with a gable roof with asphalt shingles (ca. 1980). This is a typical Commercial style building found throughout Pasco County, and limited research revealed no significant historical associations. Furthermore, the alterations and additions compromise its architectural integrity. Therefore, 8PA2772 does not appear to be eligible for listing in the NRHP.

### 5.3 Historic Districts

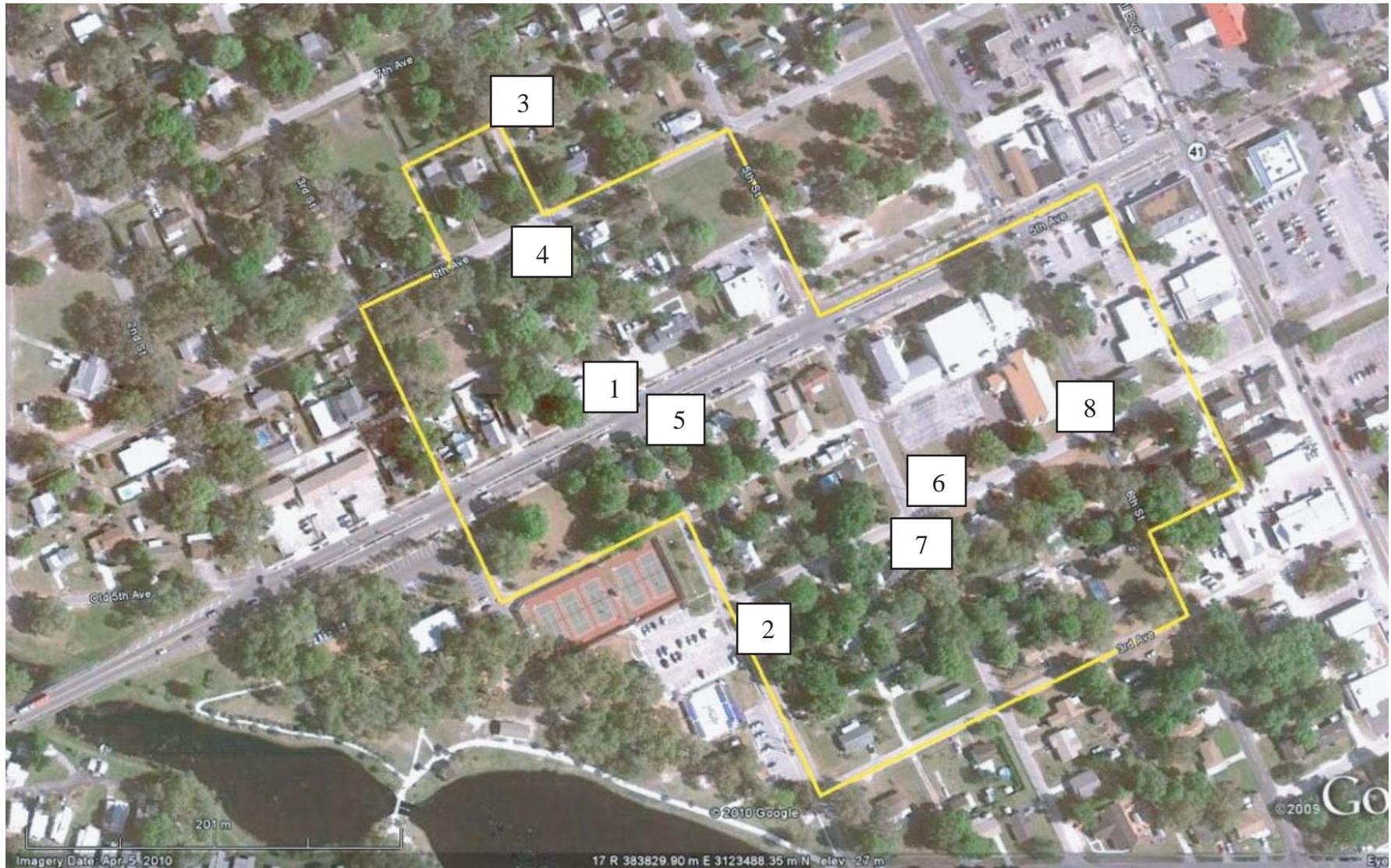
The **Zephyrhills Downtown Historic District** (8PA1357; **Figure 12**), listed in the NRHP in 2001, is a residential and commercial area located in the central core of downtown Zephyrhills. It centers on the main commercial street, 5<sup>th</sup> Avenue. The district is roughly bounded by 7<sup>th</sup> Street on the west, 9<sup>th</sup> Avenue on the north, 11<sup>th</sup> Street on the east, and South Avenue on the south. It contains a total of 209 buildings, of which 126 are contributing. Among the 126 contributing resources are four previously and newly identified historic commercial buildings (8PA1044, -1045, -1090, -2742) located within the US 301 (SR 41) project APE. The update survey indicated that none of the contributing buildings within the district boundary have been demolished nor have they undergone any significant changes since they were last recorded. In addition, with the exception of 8PA2742 located at 5210 7<sup>th</sup> Avenue, no newly recorded historic buildings located proximate to the district are considered contributing because either: the construction date does not fall within the period of significance; the buildings lack sufficient architectural integrity; or the additions of these buildings would not contribute to the overall historic or architectural context of the existing district in a cohesive manner. Therefore, there are no recommended changes to the boundary of the Zephyrhills Downtown Historic District.

In 1999, Quatrefoil Consulting identified a “high concentration of historic buildings” which might constitute a **potential historic district** west of 6<sup>th</sup> Street. The proposed boundaries included 3<sup>rd</sup> Street on the west, 6<sup>th</sup> and 5<sup>th</sup> Avenues on the north, residences along the east side of 6<sup>th</sup> Street, and 3<sup>rd</sup> Avenue on the south (**Figure 13**). Properties located on the west and east sides of 6<sup>th</sup> Street within the US 301 (SR 41) project APE lie within these proposed boundaries. Representative views keyed to Figure 9 follow. During the original CRAS undertaken as part of the US 301/Zephyrhills PD&E Study, ACI (2000a) concluded that this proposed district lacked sufficient integrity or concentration of buildings to form a cohesive historic district. The update survey, which included a visual reconnaissance of the proposed district area, resulted in a confirmation of the previous findings. Approximately 65% of the buildings in this area are historic; the remainder is largely non-historic residential infill. Most of the historic resources are Frame and Masonry Vernacular style residential and commercial buildings generally dating to the 1920s and the 1950s (**photos 1 and 5**). The majority have undergone non-historic alterations, including changes in exterior fabric, replacement roofs and windows (**photo 2**), enclosed and reconfigured porches (**photos 3 and 8**) and additions (**photos 2, 4 and 7**). Thus, there is not sufficient historic fabric and architectural integrity for this area to be considered a potential historic district. In addition, research conducted at the Pasco County Public Library did not reveal any significant historical associations specific to this area.



**Figure 12.** Location of the Zephyrhills Downtown Historic District in relation to the US 301 (SR 41) project APE (op2009nc1ft\_10\_E.sid; PBS&J 2010).

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**Figure 13.** The potential historic district located west of 6th Steet identified by Quatrefoil (1999). White boxes correspond to the following photographs labeled 1-8 in the CRAS .

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**1.** 5<sup>th</sup> Avenue from 4<sup>th</sup> Street, facing southeast.  
Note the Frame and Masonry Vernacular styles used residentially and commercially.



**2.** 4<sup>th</sup> Avenue from 4<sup>th</sup> Street, facing southeast.  
Note the replacement windows and roofing material on the two residences.



3. 4<sup>th</sup> Street from 7<sup>th</sup> Avenue, facing southwest.  
Note the enclosed porch and the “Window’s Walk” addition on the residence.



4. 6<sup>th</sup> Avenue from 4<sup>th</sup> Street, facing southwest.  
Note the porch additions.



**5.** 5<sup>th</sup> Avenue from 4<sup>th</sup> Street, facing northwest.  
Note the Frame Vernacular style residences dating to the 1920s.



**6.** 5<sup>th</sup> Street from 4<sup>th</sup> Avenue, facing southwest.



7. Rear elevation of First Baptist Church, 8PA1047, from 5<sup>th</sup> Street and 4<sup>th</sup> Avenue.  
Note the east additions to the church.



8. 6<sup>th</sup> Street from 4<sup>th</sup> Avenue, facing southeast.  
Note the enclosed porch of the residence in the foreground.

#### 5.4 Proposed Pond Site Alternatives

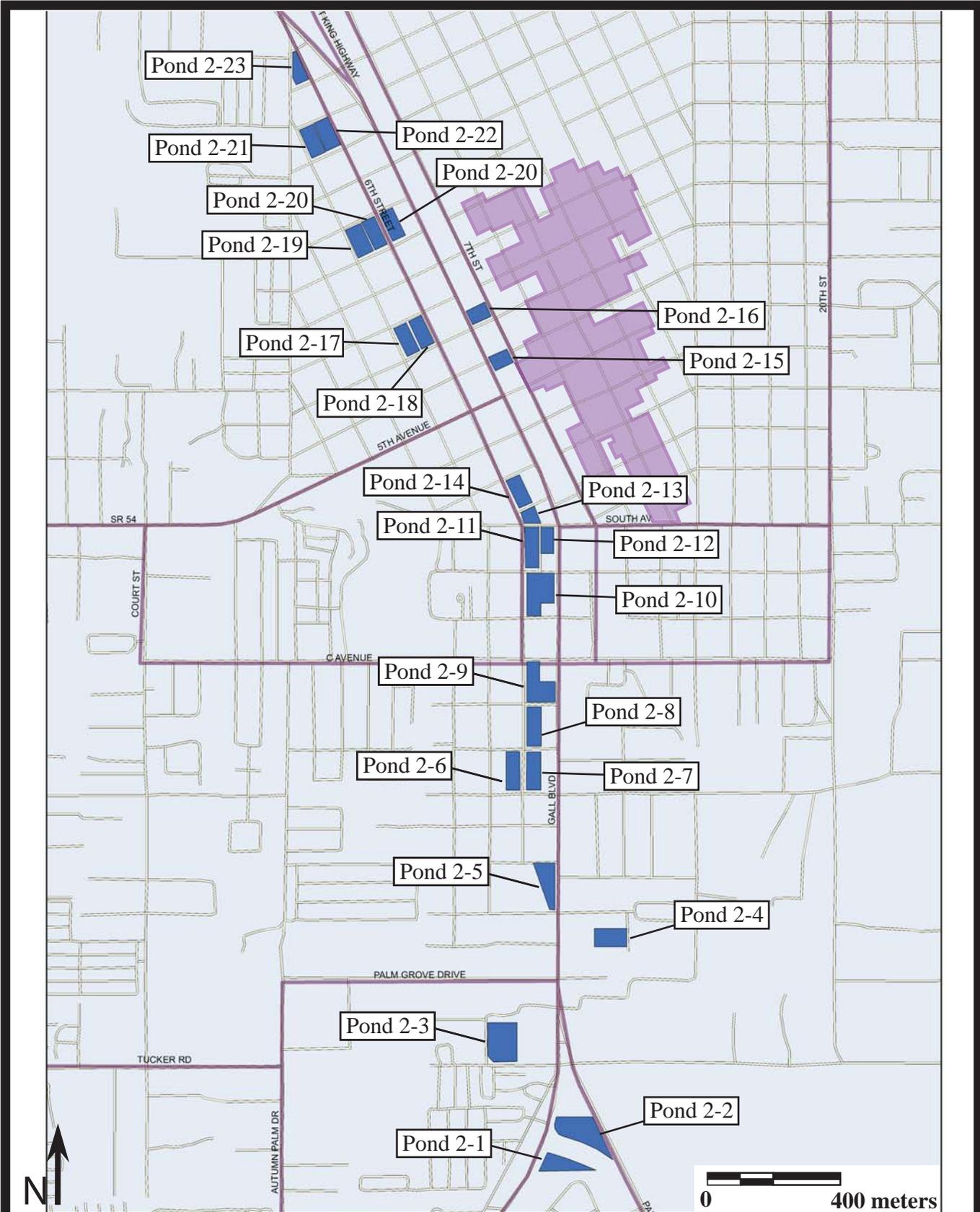
The update survey included the identification and evaluation of historic resources associated with 23 proposed pond site alternatives (**Figure 14**). As a result, five previously recorded resources (8PA932, -1168, -1175, -1176, and -1177) associated with Ponds 2-5, 2-7, and 2-11, were found to have been demolished. Twenty-four extant previously recorded and nine newly identified historic buildings are associated with 14 proposed pond site alternatives, as summarized in **Table 5**. All 33 historic resources were evaluated as ineligible for listing in the

NRHP, either individually or as a contributing resource within a historic district. No extant previously recorded or newly identified historic resources are located within or adjacent to none of the proposed pond site alternatives (Ponds 2-1, 2-2, 2-3, 2-4, 2-5, 2-12, 2-15, 2-16, and 2-23).

Archaeological field survey of the proposed pond site alternatives was completed in 2000 by ACI (ACI 2000a: Appendix D). Both proposed Pond 2-1 and 2-2, located within the new intersection configuration area, were previously considered to have a low archaeological site location potential (ACI 2000b), and thus, were not subjected to systematic subsurface testing (ACI 2000a: Appendix D).

**Table 5.** Historic resources associated with proposed pond site alternatives. Green denotes newly recorded resources, blue denotes previously recorded resources with an updated FMSF form, and orange indicates demolished resources.

Pond No.	FMSF	Address	Style	Date
2-5	8PA1168	38441 Fir St.	MV	1926
2-6	8PA1173	38411 Alston Ave.	FV	1948
2-7	8PA1174	38425-33 Alston Ave.	Craftsman	1920
2-7	8PA1175	38437 Alston Ave.	FV	1946
2-7	8PA1176	38430 Stebbins Ave.	MV	1946
2-7	8PA1177	38436 Stebbins Ave.	MV	1946
2-8	8PA1181	38429 Stebbins Ave.	Bungalow	1928
2-8	8PA1182	4606 6 <sup>th</sup> St.	Bungalow	1926
2-8	8PA1183	4612 6 <sup>th</sup> St.	Bungalow	1926
2-9	8PA1112	38438 C. Ave.	FV	1930
2-9	8PA1113	38430 C. Ave.	FV	1930
2-9	8PA1114	38424 C. Ave.	FV	1930
2-10	8PA924	4802 6 <sup>th</sup> St.	FV	1925
2-10	8PA998	38427 C. Ave	MV	1949
2-11	8PA928	4918 6 <sup>th</sup> St.	FV	1940
2-11	8PA931	4930 6 <sup>th</sup> St.	FV	1915
2-11	8PA932	4944 6 <sup>th</sup> St.	FV	1940
2-13	8PA1013	38424 2 <sup>nd</sup> Ave.	FV	1945
2-13	8PA1014	38418 2 <sup>nd</sup> Ave.	FV	1930
2-14	8PA935	5036 6 <sup>th</sup> St.	FV	1940
2-17	8PA965	5328 5 <sup>th</sup> St.	FV	1940
2-17	8PA1284	38213 7 <sup>th</sup> Ave.	Ranch	1950
2-17	8PA1285	5318 5 <sup>th</sup> St.	FV	1950
2-18	8PA951	5343 6 <sup>th</sup> St.	MT	1945
2-18	8PA1193	38231 7 <sup>th</sup> Ave.	MV	1950
2-18	8PA1194	5335 6 <sup>th</sup> St.	Ranch	1950
2-18	8PA1283	38227 7 <sup>th</sup> Ave.	Ranch	1950
2-19	8PA2758	5514 5 <sup>th</sup> St.	MV	1955
2-19	8PA2755	5510 5 <sup>th</sup> St.	MV	1955
2-20	8PA2753	38201 10 <sup>th</sup> Ave.	Commercial	1954
2-20	8PA2754	5523 6 <sup>th</sup> St.	FV	1955
2-20	8PA2756	5536 6 <sup>th</sup> St.	MV	1955
2-20	8PA2757	5531 6 <sup>th</sup> St.	MV	1956
2-21	8PA1286	38025-31 13 <sup>th</sup> Ave.	FV	1950
2-22	8PA954	1301 6 <sup>th</sup> St.	FV	1950
2-22	8PA2764	5719 6 <sup>th</sup> St.	MV	1955
2-22	8PA2765	5727 6 <sup>th</sup> St.	MV	1959
2-22	8PA2767	38032 14 <sup>th</sup> Ave.	MV	1960



**Figure 14.** Location of the proposed pond site alternatives within the US 301 (SR 41) project APE, Pasco County (Tiger 2008). Note the location of the Zephyrhills Downtown Historic District (purple).

CRAS Update  
 US 301 (SR 41)  
 from SR 39  
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## 6.0 CONCLUSIONS AND SITE EVALUATIONS

The CRAS Update resulted in the identification and evaluation of a total 161 historic buildings, of which 108 were previously recorded and 53 were newly identified. Nine of the previously recorded historic resources were found to be demolished, 76 did not appear to have undergone any significant alterations, and 23 exhibited changes sufficient to warrant preparation of updated FMSF forms. None of the previously recorded or newly recorded resources are considered individually eligible for listing in the NRHP. However, four historic buildings are considered contributing resources to the NRHP-listed Zephyrhills Downtown Historic District (8PA1357), including one newly identified historic building (8PA2742) and three previously recorded resources (8PA1044, -1045, and -1090). Field survey confirmed that no changes to the existing boundaries of the historic district are warranted. With the exception of the addition of 8PA2742 as a contributing resource, the list of contributing resources requires no alteration (8PA2742 originally was included as a contributing resource to the historic district with an incorrect address; it was not recorded previously). However, should any modifications to the right-of-way or intersection proximate to the district be necessary, the potential effects to the district will need to be assessed. Additionally, as a result of field survey, there is no potential for a historic district located west of 6<sup>th</sup> Street due to the lack of sufficient concentration of historic buildings, the lack of sufficient architectural integrity, and the lack of significant historical associations specific to this area.

Archaeological survey within the new US 301/SR 39 intersection configuration yielded negative results.

No historic resources which are listed, determined eligible, or considered potentially eligible for listing in the NRHP, either individually or as a contributing resource to a historic district, are associated with any of the proposed pond site alternatives.

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**APPENDIX A: Summary Table of FMSF Forms for Previously Recorded Historic Resources (unchanged since 2000)**

FMSF#	Site Name/ Address	Date	Style <sup>1</sup>	Stories	Exterior Fabric <sup>2</sup>	Roof Type	Windows	Additions/ Alterations	Survey	Original Surveyor's Evaluation/ACI Comments <sup>3</sup>
8PA674	4008 US 301	c. 1949	MV	1	CB	Gable	DHS, wood, 1/1; awning, metal, 3	Windows replaced, 1960s	JR 2005	Not eligible
8PA675	3951 US 301	c. 1948	FV	1	AS	Gable- cross	Fixed, wood, 3-light; wood, casement, 1	Carport add. 1960s; siding replaced, windows boarded 1990s	JR 2005	Not eligible
8PA912	5116 7 <sup>th</sup> St.	c. 1940	FV	1	AS	Gable	Awning, metal, 3	Replaced windows and siding; shed addition	Anderson 1999	Contrib. to HD*
8PA913	5126 7 <sup>th</sup> St.	c. 1930	FV	1	Vinyl	Hip	DHS, wood, 2/2, 6/6	Replaced siding; shed addition with carport	Anderson 1999	Contrib. to HD*
8PA914	4724 US 301	c. 1949	MV	1	Brick, sheet metal	Flat	Fixed, wood, 1; fixed, metal, 1	Storefronts altered, windows and doors replaced; steel frame additions	JR 2005	Not eligible
8PA915	5117 Gall Blvd.	c. 1945	MV	1	Stucco	Gable	SHS, metal, 2/2; jalousie, metal, multi; fixed, metal, 1	Partial stucco and remodeled front; truckport and shed added	Anderson 1999	Contrib. to HD*
8PA918	5203 Gall Blvd.	c. 1940	MV	1	Other	Built-up	Fixed, metal, 1	New roof	Anderson 1999	Contrib. to HD*
8PA919	5211 Gall Blvd.	c. 1935	MV	1	Stucco	Built-up	Fixed, metal, 1; transom, wood, 5	Replaced windows	Anderson 1999	Contrib. to HD*
8PA920	5213 Gall Blvd.	c. 1935	MV	1	Stucco	Built-up	Fixed, metal, 1; transom, wood, 5	Replaced windows and metal awning added	Anderson 1999	Contrib. to HD*
8PA921	5215+ /- Gall Blvd.	c. 1949	AM	1	Other	Built-up	Fixed, metal, 1	One set of doors replaced	Anderson 1999	Contrib. to HD*
8PA924	4802 6 <sup>th</sup> St.	c. 1925	FV	1	DS	Gable	DHS, wood, 1/1; SHS, metal, 2/2, 1/1	Some windows replaced; shed addition	Anderson 1999	Contrib. to HD*
8PA928	4918 6 <sup>th</sup> St.	c. 1940	FV	1.5	AS	Gable	SHS, metal, 1/1; casement, wood, 1	Replaced windows	Anderson 1999	Contrib. to HD*
8PA929	4921 6 <sup>th</sup> St.	c. 1925	FV	1	DS	Gable	DHS, wood, 2/2, 1/1; jalousie, metal, multi	Porch enclosure; shed additions	Anderson 1999	Contrib. to HD*
8PA930	4929 6 <sup>th</sup> St.	c. 1910	FV	1	DS	Gable	DHS, wood, 1/1; awning, metal, 2	Replaced siding; shed additions	Anderson 1999	Contrib. to HD*
8PA933	5031 6 <sup>th</sup> St.	c. 1920	FV	1	Vinyl	Gable	DHS, wood, 1/1	Replaced siding and porch alteration	Anderson 1999	Contrib. to HD*
8PA934	5035 6 <sup>th</sup> St.	c. 1925	FV	1	DS	Gable	DHS, wood, 1/1; awning, metal, 2	Replaced siding; shed addition	Anderson 1999	Contrib. to HD*
8PA935	5036 6 <sup>th</sup> St.	c. 1940	FV	1	WB	Gable	SHS, metal, 1/1	Replaced windows and enclosed porch; shed concrete block addition	Anderson 1999	Contrib. to HD*
8PA936	5105 6 <sup>th</sup> St.	c. 1940	FV	1	AS	Gable	Jalousie, metal, multi	Replaced windows, siding & altered porch; porch addition	Anderson 1999	Contrib. to HD*

8PA937	5111 6 <sup>th</sup> St.	c. 1930	CFM	1	Stucco	Gable-intersect	DHS, wood, 1/1; hopper, wood, 1; fixed, wood, 1; casement, wood, 3; awning, wood, 3	Some windows replaced	Anderson 1999	Contrib. to HD*
8PA938	5113 6 <sup>th</sup> St.	c. 1930	MV	1	Stucco	Pyramid	Jalousie, metal, multi	Replaced windows	Anderson 1999	Contrib. to HD*
8PA940	5122 6 <sup>th</sup> St.	c. 1949	Bauhausian	1	Stucco	Hip	Casement, metal, 2, 3, 4	Hipped addition	Anderson 1999	Contrib. to HD*
8PA942	5150 6 <sup>th</sup> St.	c. 1930	MV	2	CB	Gable	DHS, wood, 1/1	Siding added	Anderson 1999	Contrib. to HD*
8PA943	5227 6 <sup>th</sup> St.	c. 1920	FV	1	DS	Gable	DHS, wood, 1/1; jalousie, metal, multi	Porch enclosed; small shed addition	Anderson 1999	Contrib. to HD*
8PA944	5247 6 <sup>th</sup> St.	c. 1925	CR	2	AS	Gable	DHS, wood, 1/1	Siding added, porches enclosed	Anderson 1999	Contrib. to HD*
8PA945	5253 6 <sup>th</sup> St.	c. 1930	FV	1	Vinyl	Gable	Awning, metal, 2, 3; jalousie, metal, multi	Siding and metal front porch added	Anderson 1999	Not eligible
8PA946	5311 6 <sup>th</sup> St.	c. 1940	FV	1	AS	Gable-clipped	Jalousie, metal, multi	Replaced windows and siding; gabled façade and shed addition	Anderson 1999	Not eligible
8PA947	5312 6 <sup>th</sup> St.	c. 1915	FV	1.5	DS	Hip	Awning, metal, 4; DHS, wood, 1/1	Replaced windows; shed addition	Anderson 1999	Contrib. to HD*
8PA948	5330 6 <sup>th</sup> St.	c. 1930	FV	1	VP	Gable	DHS, wood, 1/1	Replaced siding, façade altered; shed addition	Anderson 1999	Not eligible
8PA951	5343 6 <sup>th</sup> St.	c. 1945	MT	1	Stucco	Gable	DHS, wood, 1/1, 2/2, 8/1	Altered front porch and siding added	Anderson 1999	Contrib. to HD*
8PA952	5601-5603 6 <sup>th</sup> St.	c. 1930	CFM	1	WB	Hip	DHS, wood, 1/1; casement, wood 1, 3	Doors replaced	Anderson 1999	Contrib. to HD*
8PA953	5631 6 <sup>th</sup> St.	c. 1940	FV	1	DS	Gable	Awning, metal, 2, 3; jalousie, metal, multi	Replaced windows; shed addition	Anderson 1999	Not eligible
8PA965	5328 5 <sup>th</sup> St.	c. 1940	FV	1	AS	Gable	DHS, wood, 1/1	Replaced siding; gabled garage attached	Anderson 1999	Contrib. to HD*
8PA1013	38424 2 <sup>nd</sup> Ave.	c. 1945	FV	1	Vinyl	Gable-intersect	Awning, metal, 3; SHS, metal, 2/2	Replaced windows and siding; shed addition and carport	Anderson 1999	Contrib. to HD*
8PA1014	38418 2 <sup>nd</sup>	c. 1930	FV	1	Vinyl	Hip	Awning, metal, 3; DHS, wood, 1/1	Replaced siding; shed additions	Anderson 1999	Contrib. to HD*
8PA1018	38338 3 <sup>rd</sup> Ave.	c. 1930	FV	1	Vinyl	Gable	DHS, wood, 1/1	Replaced siding	Anderson 1999	Contrib. to HD*
8PA1023	38402 4 <sup>th</sup> St.	c. 1930	FV	2	AS	Gable	DHS, wood, 1/1	Replaced siding	Anderson 1999	Contrib. to HD*
8PA1024	38350 4 <sup>th</sup> Ave.	c. 1930	FV	1	Vinyl	Gable	SHS, metal, 2/2	Replaced windows and siding; shed additions	Anderson 1999	Contrib. to HD*
8PA1044	38418-38420 5 <sup>th</sup> Ave	c. 1940	MV	2	CB	Gable	Fixed, wood, 1; casement, metal, 3; jalousie, metal, multi	Non-historic metal awning added	Anderson 1999	Contrib. to HD
8PA1045	38416 5 <sup>th</sup> Ave.	1936	Art Deco	1	Stucco	Flat, shed	Fixed, metal, 1; SHS, metal, 2/2	Extensive alterations ca. 1980	ACI 2000	Not Ind. eligible, but Contrib. to HD (SHPO 2001)

8PA1047	38300 5 <sup>th</sup> Ave.	c. 1927	AR	2	Brick	Gable	Fixed, wood, stained glass; DHS, wood 2/2	In-fill basement windows; gabled addition	Anderson 1999	Contrib. to HD*
8PA1068	38409 7 <sup>th</sup> Ave.	c. 1925	FV	1	AS	Hip	DHS, wood, 3/1; casement, wood, 3, 5; SHS, metal, 2/2	Replaced siding; hipped addition	Anderson 1999	Contrib. to HD*
8PA1088	5854 7 <sup>th</sup> St.	c. 1940	FV	1	AS	Hip	DHS, wood, 1/1; SHS, metal, 2/2	Siding added	Anderson 1999	Not eligible
8PA1090	7 <sup>th</sup> St. betw. 4 <sup>th</sup> and 5 <sup>th</sup>	c. 1946	MV	1	CB	Gable	Awning, metal, 5	Largely rebuilt in 1946- 47 (orig. 1930)	Anderson 1999	Contrib. to HD
8PA1091	5420 7 <sup>th</sup> St.	c. 1945	MV	1	CB	Gable	Fixed, metal, 1	Replaced windows and entrance doors	Anderson 1999	Contrib. to HD*
8PA1092	5527 Gall Blvd.	c. 1945	MV	1	CB	Gable	Awning, metal, 3	N/A	Anderson 1999	Contrib. to HD*
8PA1112	38438 C Ave.	c. 1930	FV	1	Vinyl	Gable	DHS, wood, 2/2	Siding replaced	JR 2005	Contrib. to HD*
8PA1113	38430 C Ave.	c. 1930	FV	1	Vinyl	Gable	DHS, wood, 1/1, 2/2	Siding replaced, T1-11 foundation infill added	JR 2005	Contrib. to HD*
8PA1114	38424 C Ave.	c. 1930	FV	1	Vinyl	Gable	DHS, wood, 1/1; awning, metal, 3	T1-11 foundation infill added, siding replaced; wood frame addition	JR 2005	Contrib. to HD*
8PA1115	38348 C Ave.	c. 1935	FV	1	WB	Gable	DHS, wood, 3/1	N/A	JR 2005	Contrib. to HD*
8PA1165	38524 Foss Lane	c. 1926	FV	1	DS	Gable	DHS, wood, 1/1; casement, wood, 4; awning, metal, 2; casement, metal, 20	Enclosed south porch	ACI 2000	Not eligible
8PA1166	4135 Gall Boulevard	c. 1948	MV	1	DS, stucco	Flat, gable	Awning, metal, 2; storefront, metal, 1; jalousie, metal	Room and storefront additions	ACI 2000	Not eligible
8PA1167	38445 Corey St.	c. 1950	MV	1	AS, stucco	Gable	DHS, wood, 1/1; SHS, metal, 1/1; casement, wood, 1	Enclosed south porch, two south additions	ACI 2000	Not eligible
8PA1169	4352 6 <sup>th</sup> St.	c. 1950	MV	1	Stucco	Gable	Casement, metal, 6 & 8	N/A	ACI 2000	Not eligible
8PA1170	4351 Gall Boulevard	c. 1950	MV	1	CB, VP	Clipped gable	Casement, metal, 6 & 8	North addition	ACI 2000	Not eligible
8PA1171	38430 Jendral Ave.	c. 1950	MV	1	CB, AS	Gable	Casement, metal, 8	Enclosed window, carport addition	ACI 2000	Not eligible
8PA1172	4446 Hooper St.	c. 1950	FV	1	AS, vinyl	Gable	SHS, metal, 1/1, 2/2; DHS, wood, 1/1	Windows replaced, room and carport additions	ACI 2000	Not eligible
8PA1173	38411 Alston Ave.	c. 1948	FV	1	AS, vinyl	Gable, shed	Casement, wood, 8; DHS, wood, 6/6; jalousie, metal; SHS, metal, 1/1	Enclosed porch, siding replaced, room additions, deck addition	ACI 2000	Not eligible
8PA1174	38425-33 Alston Ave.	c. 1920	CFM	1.5	Vinyl, WB	Gable	DHS, wood, 4/1, 1/1; SHS, metal, 2/2	second story addition, room additions	ACI 2000	Not eligible
8PA1180	38411 Stebbins Ave.	c. 1948	FV	1	DS, AS, vinyl	Gable	SHS, metal, 2/2; DHS, wood, 1/1; jalousie, metal; awning, metal, 2	Siding replaced, two room additions	ACI 2000	Not eligible
8PA1181	38429 Stebbins Ave.	c. 1928	BUNG	1	DS, AS	Gable	DHS, wood, 1/1	Siding replaced, reconstructed porch	ACI 2000	Not eligible
8PA1184	4617 Gall Boulevard	c. 1945	FV	1	Metal	Gable	SHS, metal, 6/6	Siding, windows, doors replaced; east porch	ACI 2000	Not eligible

8PA1185	4631 Gall Boulevard	c. 1928	BUNG	1	DS	Gable, hip	Awning, metal, 4; casement, wood, 2; fixed with casement sidelights	Porch enclosed, carport addition	ACI 2000	Not eligible
8PA1186	4644 Gall Boulevard	c. 1949	MV	1	Stucco, WB	Gable	Casement, metal, 8; storefront, metal, 1	Altered storefront, two room additions	ACI 2000	Not eligible
8PA1187	38408 C Ave.	c. 1950	FV	1	DS, Metal	Gable, shed, flat	Awning, metal, 2 & 4; DHS, wood, 2/2	Room and porch additions	ACI 2000	Not eligible
8PA1188	4723 Gall Boulevard	c. 1945	FV	1	Vinyl, Brick veneer	Gable	SHS, metal, 6/6	Siding replaced, numerous additions	ACI 2000	Not eligible
8PA1192	5254 6 <sup>th</sup> St.	c. 1950	MV	1	Stucco	Hip	Casement, metal, 12	additions	ACI 2000	Not eligible
8PA1193	38231 7 <sup>th</sup> Ave.	c. 1950	MV	1	Stucco	Gable, flat	Casement, metal, 8 & 12; jalousie, metal	Room and garage addition	ACI 2000	Not eligible
8PA1195	5453 6 <sup>th</sup> St.	c. 1949	FV	1	AS	Gable	SHS, metal, 2/2; THS, metal, 2/2/2	Windows replaced, room and porch additions	ACI 2000	Not eligible
8PA1196	5537 Gall Boulevard	c. 1932	BUNG	1	Stucco	Gable, hip, shed	DHS, wood, 3/1, 1/1; SHS, metal, 2/2; fixed, wood, 1	Porch enclosed, windows replaced, stucco	ACI 2000	Not eligible
8PA1197	5801 Gall Boulevard	c. 1950	FV	1	Metal	Gable, shed	Fixed with casement sidelight; DHS, wood, 1/1	Siding replaced, garage addition	ACI 2000	Not eligible
8PA1198	Pinecrest Mobile Home Park Bldg #20	c. 1950	MV	1	CB, DS	Gable	Casement, metal, 9 & 12	N/A	ACI 2000	Not eligible
8PA1283	38227 7 <sup>th</sup> Ave.	c. 1950	Ranch	1	CB	Hip	Casement, metal, 8 & 12	NA	ACI 2000	Not eligible
8PA1284	38213 7 <sup>th</sup> Ave.	c. 1950	Ranch	1	Stucco	Hip	Casement, metal, 8 & 12; awning, metal, 2; SHS, metal, 2/2	Numerous additions	ACI 2000	Not eligible
8PA1286	38025-31 13 <sup>th</sup> Ave.	c. 1950	FV	1	Vinyl	Gable, shed	DHS, wood, 1/1; awning, metal, 2 & 3	Windows and siding replaced	ACI 2000	Not eligible
8PA2165	38350 C Ave.	c. 1935	FV	1	DS	Gable	DHS, wood, 1/1, 2/2; awning, metal, 2, 4	Wood frame addition	JR 2005	Not eligible
8PA2671	6020-6038 Gall Boulevard	1959	MV	1	CB, stucco, brick veneer	Flat	Fixed, metal, 1	Canopy addition	ACI 2009	Not eligible

Legend:

Style<sup>1</sup>

AM = Art Moderne  
AR = Adamesque Revival  
BUNG=Bungalow  
CFM=Craftsman  
CR = Colonial Revival  
FV= Frame Vernacular  
GR = Georgian Revival  
MT = Minimal Traditional  
MV= Masonry Vernacular  
QA = Queen Anne  
QH= Quonset Hut

Exterior Fabric<sup>2</sup>

AS = asbestos shingles  
DS = Drop siding  
WB = weatherboard  
WS = wood shingles  
VP = Vertical Plank

Comments<sup>3</sup>

\*2010 CRAS Update indicates not eligible and not contributing to a historic district

**APPENDIX B: FMSF Forms and Status Letter for Demolished Historic Structures**



# ARCHAEOLOGICAL CONSULTANTS INC.

ARCHAEOLOGICAL  
SURVEYS AND  
EXCAVATIONS

HISTORIC BUILDING  
SURVEYS AND  
EVALUATIONS

ARCHIVAL RESEARCH

CULTURAL RESOURCE  
ASSESSMENTS

NATIONAL REGISTER  
NOMINATIONS

INTERPRETIVE  
DISPLAYS

PRESERVATION  
PLANNING

*Florida's First Choice  
in Cultural Resource  
Management*

September 9, 2010

Mr. Vincent Birdsong  
Florida Master Site File  
Division of Historic Resources  
R.A. Gray Building  
500 South Bronough Street  
Tallahassee, FL 32399-0250

RE: Historic Resource status

Dear Mr. Birdsong:

This letter is to inform you that recent field survey, conducted July 2010, has discovered that the following properties:

Arranged south to north

8PA1168	38441 Fir Street
8PA1179	38444 Stebbins Avenue
8PA1178	38438 Stebbins Avenue
8PA1177	38436 Stebbins Avenue
8PA1176	38430 Stebbins Avenue
8PA1175	38437 Alston Avenue
8PA923	4741 6 <sup>th</sup> Street
8PA932	4944 6 <sup>th</sup> Street
8PA939	5117 6 <sup>th</sup> St.

are no longer extant at their recorded location since they were last recorded.

Sincerely,

Marielle Lumang  
Architectural Historian

A MEMBER OF  
**ACRA**  
American Cultural  
Resource Association

8110 BLAIKIE COURT, SUITE A, SARASOTA, FLORIDA 34240, (941) 379-6206, FAX (941) 379-6216

• TAMPA BAY AREA OFFICE: (727) 588-0056 • TALLAHASSEE AREA OFFICE: (850) 926-9285 • ST. AUGUSTINE AREA OFFICE: (904) 829-9100

Visit Our Web Site [www.aci-crm.com](http://www.aci-crm.com)

# HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site #8 PA1168

Recorder # 2/7

Field Date 8/31/99

Form Date 11/8/99

Version 3.0 11/96

Consult Guide To Historical Structure Forms for detailed instructions.

Original  
 Update  
(give site #)

Site Name(s) (address if none) 38441 Fir Street Multiple Listing [DHR only] \_\_\_\_\_  
Survey CRAS of US 301, Zephyrhills Survey # \_\_\_\_\_  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

### LOCATION & IDENTIFICATION

Address (Include N,S,E,W, #; St., Ave., etc.) 38441 Fir Street  
Cross Streets (nearest/between) NW corner of Gall Blvd. and Fir Street  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 142621007000A000010  
Subdivision name Pineland Heights Block A Lot 1-5  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

### MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name: \_\_\_\_\_  
Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting 384180 Northing 3121880  
Plat or other map (map's name, location) PB 3, Pg 27

### DESCRIPTION

Style\* Masonry Vernacular Exterior Plan\* rectangular Number of Stories 1  
Structural System(s)\* masonry  
Foundation: Type(s)\* slab Material(s)\* concrete  
Exterior Fabric(s)\* stucco  
Roof: Type(s)\* gable; shed Material(s)\* 5V crimp; composition roll  
Roof secondary strucs. (dormers etc.)\* \_\_\_\_\_  
Chimney: No 1 Material(s)\* masonry Location(s)\* ext S wall  
Windows (types, materials, etc.)\* 1/1 DHS, wood, independent; 1 light storefront, metal, ribbon  
Main Entrance (stylistic details) \_\_\_\_\_  
Porches: #open 1 #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) S  
Porch roof type(s) shed  
Exterior Ornament \_\_\_\_\_

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): S commercial S residential \_\_\_\_\_ institutional \_\_\_\_\_ undeveloped \_\_\_\_\_  
Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc.) \_\_\_\_\_

Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

<b>DHR USE ONLY*****OFFICIAL EVALUATIONS*****DHR USE ONLY</b>	
NR DATE	KEEPER-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info Date _____
	LOCAL DESIGNATION: _____ Date _____
	Local office _____
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)	

Consult Guide to Historical Structure Forms for detailed instructions

HISTORY

Construction date: Exactly (year) Approximately 1926 (year) Earlier than (year) Later than (year)

Architect (last name first): unknown Builder (last name first) unknown

Moves: [ ] yes [x] no [ ] unknown Date Original address

Alterations: [ ] yes [x] no [ ] unknown Date Nature\*

Additions: [x] yes [ ] no [ ] unknown Date c.1970;80 Nature\* room addt. to W; room addt. to E

Original Use\* (give date ranges) commercial

Intermediate Uses\* (give date ranges) commercial

Present Use\* (give date ranges) restaurant

Ownership History (especially original owner, dates, profession, etc.) Otis J. Barrentine (1986)

\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

- [ ] formal archaeological survey [x] past surveys search at FMSF [x] local library research [ ] Sanborn maps
[ ] informal archaeological inspection [x] past sites search at FMSF [ ] non-local library research [ ] subdivision maps
[ ] Public Lands Survey (DEP) [ ] FL Archives (Gray Building) [ ] building permits [ ] plat maps
[ ] tax records/property deeds [ ] FL Photo Archives (Gray Building) [ ] demolition permits [ ] local newspaper files
[x] tax records only [ ] occupant/owner interview [ ] commercial permits
[ ] interior inspection [ ] neighbor interview [ ] occupation permits
[ ] other methods (specify)

SURVEYOR'S EVALUATION OF SITE (Check one choice on each line)

Potentially eligible for local register? [ ] yes: name register at right [x] no [ ] insufficient info Name of local register if eligible:

Individually eligible for National Register? [ ] yes [x] no [ ] insufficient info

Potential contributor to Nat. Reg. district? [ ] yes [x] no [ ] insufficient info

Area(s) of Historical Significance (See National Register Bulletin 15, p. 8 for categories: e.g. "architecture," "ethnic heritage," "community planning & development," etc.)

Community Planning and Development

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet)

Limited research did not indicate any historical significance. Additionally, this property is typical of Masonry Vernacular architecture found throughout Zephyrhills and Pasco County. Therefore, it does not appear NRHP eligible.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Pasco County Property Appraiser's Office; City of Zephyrhills Historic Preservation Survey, Quatrefoil Consulting, June 1999; Zephyrhills Public Library; Zephyrhills Depot Museum; Zephyrhills City Directories 1945, 1961, 1963, 1975.

Photographs (required) B&W print(s) at least 3x5, at least one main facade.

Location of negatives & negative numbers Archaeological Consultants, Inc. Roll 2/7-8

RECORDER

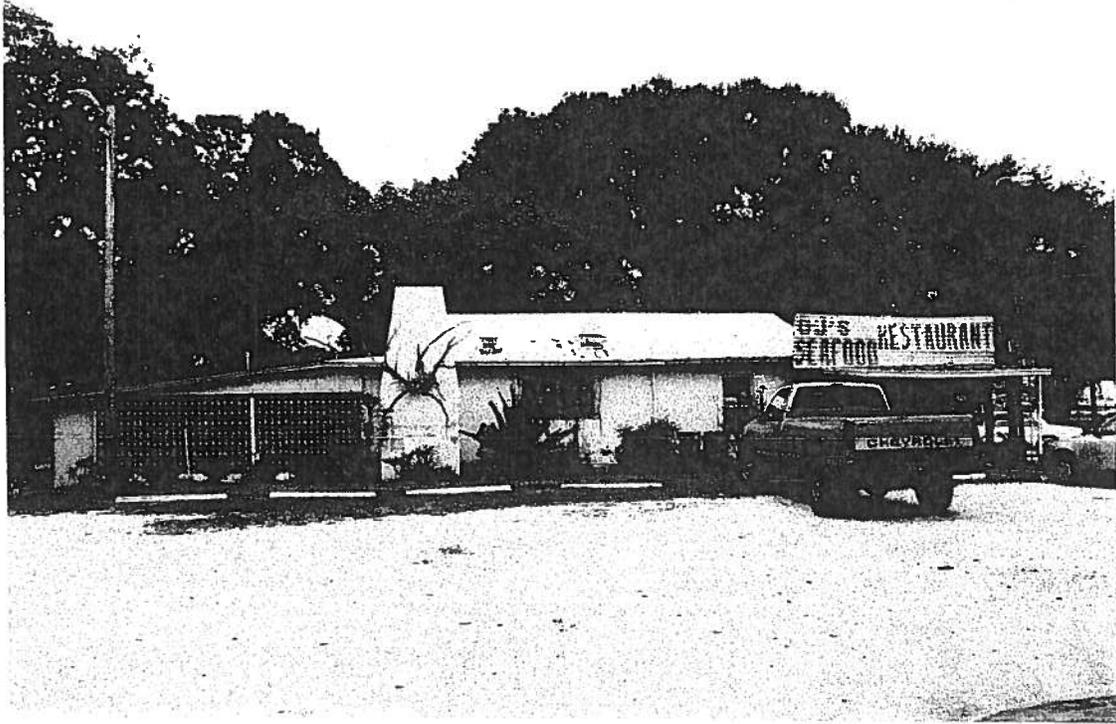
Name (last name first)/Address/Phone/Fax/Email/Affiliatio Hinder, Kimberly

Archaeological Consultants, Inc./ P.O. Box 5103, Sarasota, FL 34277-5103/(941)925-9906/(941)925-9767/ACIMAIN@COMPUSERVE.COM

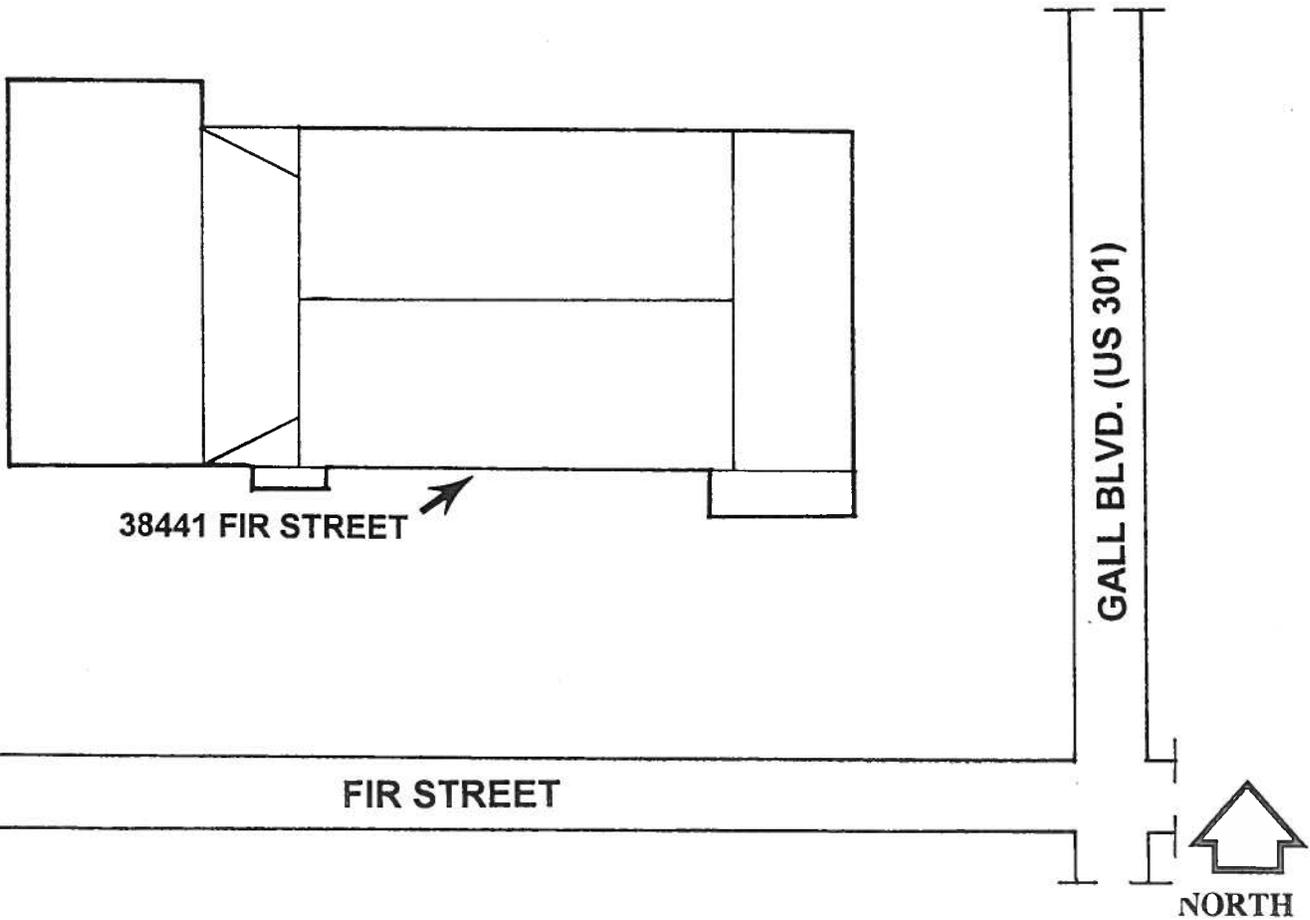
Remember: Use a Supplement for Site Forms or other continuation sheet for descriptions that do not fit in the spaces above.

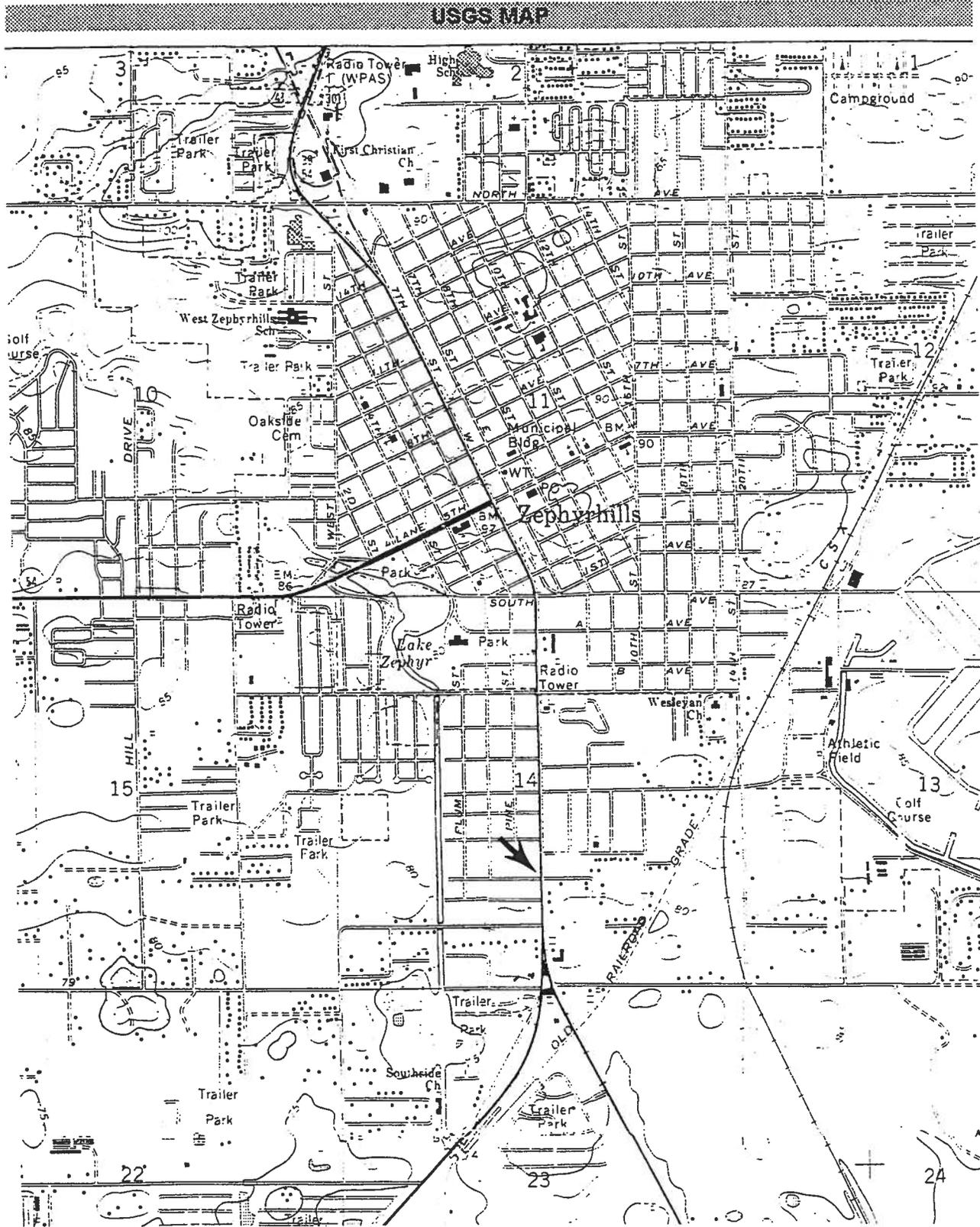
- REQUIRED: (1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED
(2) LARGE SCALE STREET OR PLAT MAP
(3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3x5

PHOTOGRAPH

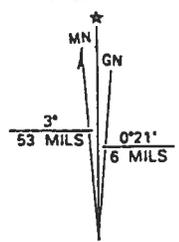


STREET OR PLAT MAP

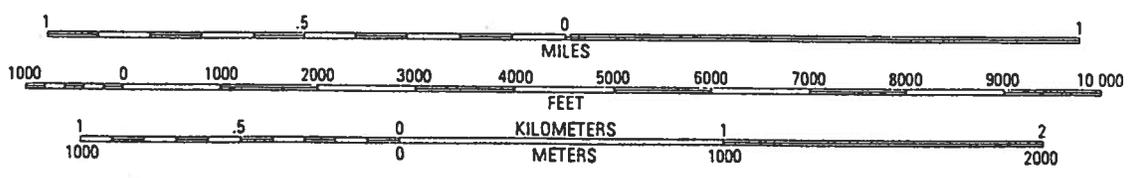




ZEPHYRHILLS, FLA. 1975 PR 1987  
SCALE 1:24 000



UTM GRID AND 1988 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET



# HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site #8 PA1169  
Recorder # 2/4  
Field Date 8/31/99  
Form Date 11/8/99

Original  
 Update  
(give site #)

Version 3.0 11/96

Consult Guide To Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 4352 6th Street Multiple Listing [DHR only] \_\_\_\_\_  
Survey CRAS of US 301, Zephyrhills Survey # \_\_\_\_\_  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

## LOCATION & IDENTIFICATION

Address (include N,S,E,W,#;St.,Ave.,etc.) 4352 6th Street  
Cross Streets (nearest/between) between Jendral and Vinson Streets on E  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 1426210050004000130  
Subdivision name Jendral Subdivision Block 4 Lot 13,14,15  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

## MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name:  
Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting 384130 Northing 3122060  
Plat or other map (map's name, location) PB 3, Pg 153

## DESCRIPTION

Style\* Masonry Vernacular Exterior Plan\* rectangular Number of Stories 1  
Structural System(s)\* masonry  
Foundation: Type(s)\* continuous Material(s)\* concrete  
Exterior Fabric(s)\* stucco  
Roof: Type(s)\* gable Material(s)\* composition shingle  
Roof secondary strucs. (dormers etc.)\* \_\_\_\_\_  
Chimney: No 1 Material(s)\* masonry Location(s)\* central ridge  
Windows (types, materials, etc.)\* 6 & 8 light casement, metal, independent  
Main Entrance (stylistic details) \_\_\_\_\_  
Porches: #open 3 #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) W, N, S  
Porch roof type(s) gable, gable, gable  
Exterior Ornament rounded corners

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): S commercial S residential \_\_\_\_\_ institutional \_\_\_\_\_ undeveloped  
Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc.)  
c. 1950 one car concrete block garage on E

Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

DHR USE ONLY*****OFFICIAL EVALUATIONS*****DHR USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info Date _____
	LOCAL DESIGNATION: _____ Date _____
	Local office _____
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)	

# HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site #8 PA1179  
Recorder # 1/19  
Field Date 8/31/99  
Form Date 11/8/99

Original  
 Update  
(give site #)

Version 3.0 11/96

Consult Guide To Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 38444 Stebbins Avenue Multiple Listing [DHR only] \_\_\_\_\_  
Survey CRAS of US 301, Zephyrhills Survey # \_\_\_\_\_  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

## LOCATION & IDENTIFICATION

Address (Include N,S,E,W, #; St., Ave., etc.) 38444 Stebbins Avenue  
Cross Streets (nearest/between) between 6th Street and Gall Blvd. on S  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 1426210060009002010  
Subdivision name Sunrise Park Block 9 Lot 201-224  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

## MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name:  
Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting 384200 Northing 3122330  
Plat or other map (map's name, location) PB 1, Pg 58

## DESCRIPTION

Style\* Frame Vernacular Exterior Plan\* rectangular Number of Stories 1  
Structural System(s)\* wood frame  
Foundation: Type(s)\* pier Material(s)\* concrete  
Exterior Fabric(s)\* asbestos shingle  
Roof: Type(s)\* gable Material(s)\* 5V crimp  
Roof secondary strucs. (dormers etc.)\* \_\_\_\_\_  
Chimney: No 0 Material(s)\* \_\_\_\_\_ Location(s)\* \_\_\_\_\_  
Windows (types, materials, etc.)\* 1/1 DHS, wood, independent & paired; jalousie, metal, independent  
Main Entrance (stylistic details) \_\_\_\_\_  
Porches: #open \_\_\_\_\_ #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) \_\_\_\_\_  
Porch roof type(s) \_\_\_\_\_  
Exterior Ornament gable vent, exposed rafter ends

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): M commercial S residential \_\_\_\_\_ institutional \_\_\_\_\_ undeveloped  
Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc.) This building is located in Oakdale Village on same parcel as 13 other permanent buildings and temporary RVs. Six, including this building, are historic and have been recorded on FSF forms 8PA1174-8PA1179.  
Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

DHR USE ONLY*****OFFICIAL EVALUATIONS*****DHR USE ONLY	
NR DATE	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no Date _____
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info Date _____
	LOCAL DESIGNATION: _____ Date _____ Local office
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)	

Consult Guide to Historical Structure Forms for detailed instructions

HISTORY

Construction date: Exactly (year) Approximately 1946 (year) Earlier than (year) Later than (year)

Architect (last name first): unknown Builder (last name first) unknown

Moves: [ ] yes [X] no [ ] unknown Date Original address

Alterations: [X] yes [ ] no [ ] unknown Date c.1960 Nature\* repl siding

Additions: [X] yes [ ] no [ ] unknown Date c.1960 Nature\* room addt on W

Original Use\* (give date ranges) other: rental unit

Intermediate Uses\* (give date ranges) other: rental unit

Present Use\* (give date ranges) other: rental unit

Ownership History (especially original owner, dates, profession, etc.) John and Ruby West (1980)

\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

- [ ] formal archaeological survey [X] past surveys search at FMSF [X] local library research [ ] Sanborn maps
[ ] informal archaeological inspection [X] past sites search at FMSF [ ] non-local library research [ ] subdivision maps
[ ] Public Lands Survey (DEP) [ ] FL Archives (Gray Building) [ ] building permits [ ] plat maps
[ ] tax records/property deeds [ ] FL Photo Archives (Gray Building) [ ] demolition permits [ ] local newspaper files
[X] tax records only [ ] occupant/owner interview [ ] commercial permits
[ ] interior inspection [ ] neighbor interview [ ] occupation permits
[ ] other methods (specify)

SURVEYOR'S EVALUATION OF SITE (Check one choice on each line)

Potentially eligible for local register? [ ] yes: name register at right [X] no [ ] insufficient info Name of local register if eligible:
Individually eligible for National Register? [ ] yes [X] no [ ] insufficient info
Potential contributor to Nat. Reg. district? [ ] yes [X] no [ ] insufficient info
Area(s) of Historical Significance (See National Register Bulletin 15, p. 8 for categories: e.g. "architecture," "ethnic heritage," "community planning & development," etc.)
Community Planning and Development

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet)
Many examples of Frame Vernacular residential construction exist throughout Pasco County. In addition,
limited historic research suggested no historic significance attached to this property. As a result, it
does not appear to meet NRHP eligibility criteria.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Pasco County Property Appraiser's Office; City of
Zephyrhills Historic Preservation Survey, Quatrefoil Consulting, June 1999; Zephyrhills Public Library; Zephyrhills Depot Museum;
Zephyrhills City Directories 1945, 1961, 1963, 1975.
Photographs (required) B&W print(s) at least 3x5, at least one main facade.
Location of negatives & negative numbers Archaeological Consultants, Inc. Roll 1/19 & 3/12

RECORDER

Name (last name first)/Address/Phone/Fax/Email/Affiliatio Hinder, Kimberly
Archaeological Consultants, Inc./ P.O. Box 5103, Sarasota, FL 34277-5103/(941)925-9906/(941)925-9767/ACIMAIN@COMPUSERVE.COM

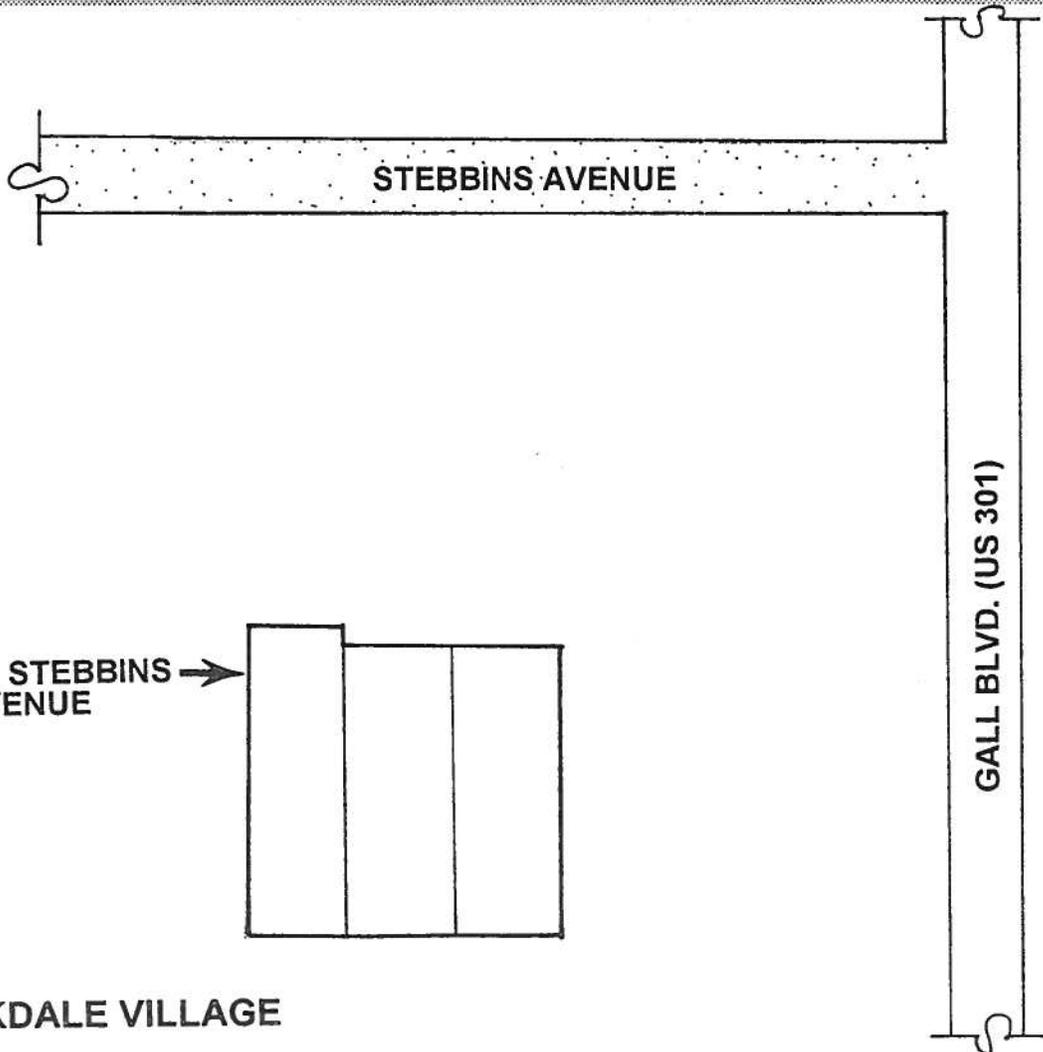
Remember: Use a Supplement for Site Forms or other continuation sheet for descriptions that do not fit in the spaces above.

- REQUIRED: (1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED
(2) LARGE SCALE STREET OR PLAT MAP
(3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3x5

PHOTOGRAPH



STREET OR PLAT MAP



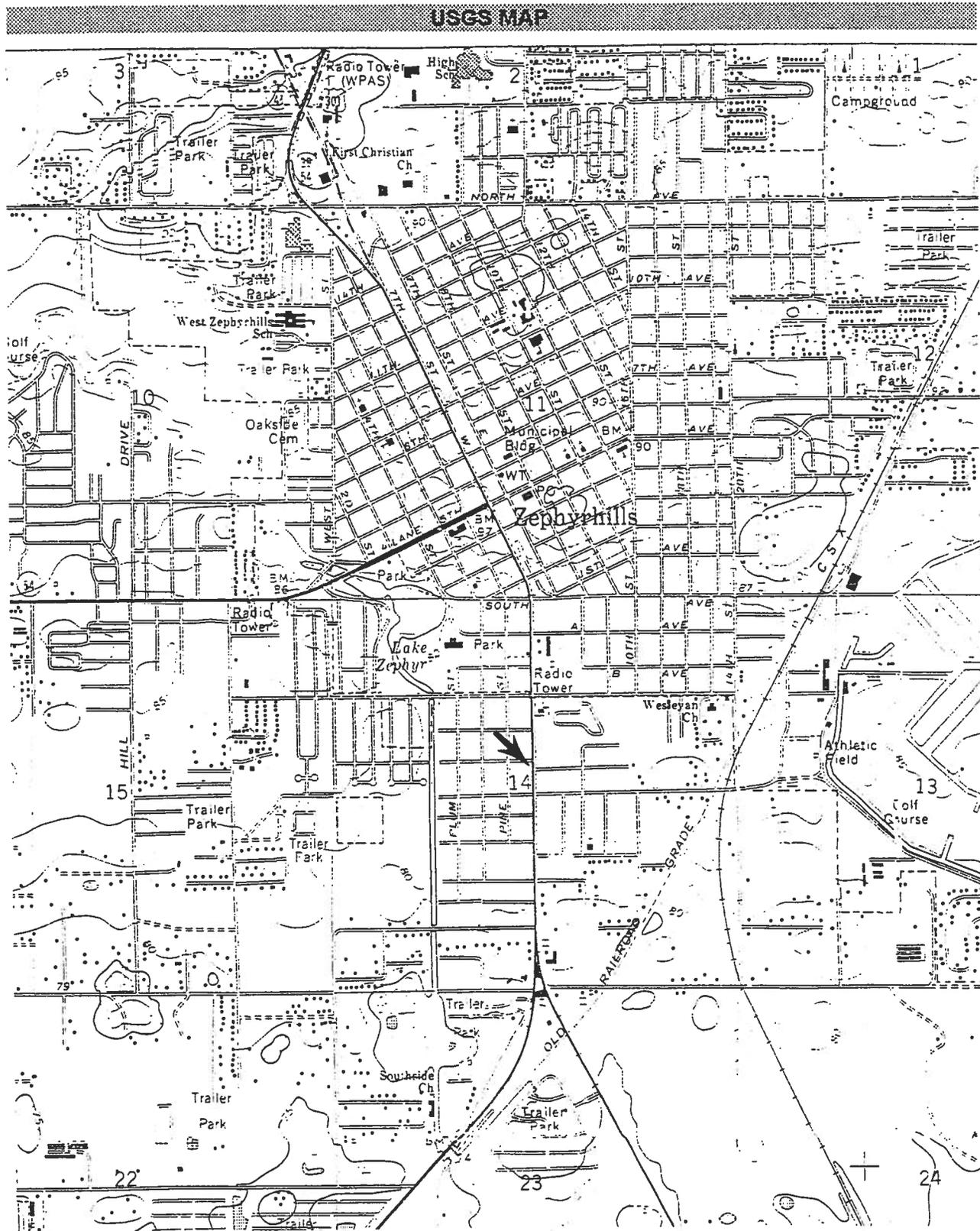
38444 STEBBINS AVENUE

GALL BLVD. (US 301)

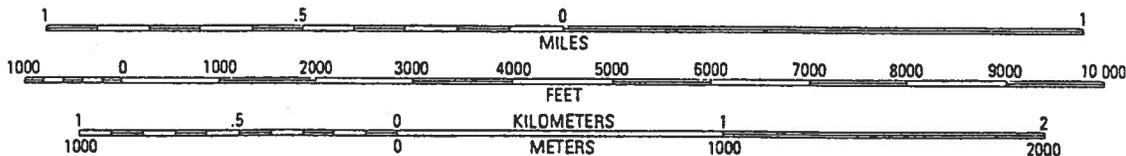
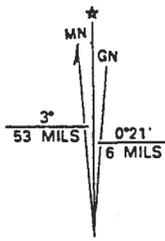


NORTH

OAKDALE VILLAGE



ZEPHYRHILLS, FLA. 1975 PR 1987  
SCALE 1:24 000



UTM GRID AND 1988 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET

# HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site #8 PA1178

Original  
 Update  
(give site #)

Version 3.0 11/96

Recorder # 1/16  
Field Date 8/31/99  
Form Date 11/8/99

Consult Guide To Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 38438 Stebbins Avenue Multiple Listing [DHR only] \_\_\_\_\_  
Survey CRAS of US 301, Zephyrhills Survey # \_\_\_\_\_  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

## LOCATION & IDENTIFICATION

Address (Include N,S,E,W;#;St.,Ave.,etc.) 38438 Stebbins Avenue  
Cross Streets (nearest/between) between 6th Street and Gall Blvd. on S  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 1426210060009002010  
Subdivision name Sunrise Park Block 9 Lot 201-224  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

## MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name:  
Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting 384190 Northing 3122340  
Plat or other map (map's name, location) PB 1, Pg 58

## DESCRIPTION

Style\* Masonry Vernacular Exterior Plan\* rectangular Number of Stories 1  
Structural System(s)\* masonry  
Foundation: Type(s)\* slab Material(s)\* concrete  
Exterior Fabric(s)\* concrete block, composition shingle  
Roof: Type(s)\* gable Material(s)\* 5V crimp  
Roof secondary strucs. (dormers etc.)\* \_\_\_\_\_  
Chimney: No 0 Material(s)\* \_\_\_\_\_ Location(s)\* \_\_\_\_\_  
Windows (types, materials, etc.)\* 1/1 DHS, wood, independent  
Main Entrance (stylistic details) \_\_\_\_\_  
Porches: #open 1 #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) N  
Porch roof type(s) gable  
Exterior Ornament \_\_\_\_\_

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): M commercial S residential \_\_\_\_\_ institutional \_\_\_\_\_ undeveloped  
Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc) This building is located in Oakdale Village on same parcel as 13 other permanent buildings and temporary RVs. Six, including this building, are historic and have been recorded on FSF forms 8PA1174-8PA1179.  
Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

## DHR USE ONLY \*\*\*\*\* OFFICIAL EVALUATIONS \*\*\*\*\* DHR USE ONLY

NR DATE	KEEPER-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info	Date _____
	LOCAL DESIGNATION: _____	Date _____
	Local office _____	
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)		

Consult Guide to Historical Structure Forms for detailed instructions

**HISTORY**

Construction date: Exactly \_\_\_\_\_ (year) Approximately 1946 (year) Earlier than \_\_\_\_\_ (year) Later than \_\_\_\_\_ (year)  
 Architect (last name first): unknown Builder (last name first) unknown  
 Moves:  yes  no  unknown Date \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations:  yes  no  unknown Date \_\_\_\_\_ Nature\* \_\_\_\_\_  
 Additions:  yes  no  unknown Date \_\_\_\_\_ Nature\* \_\_\_\_\_  
 Original Use\* (give date ranges) other: rental unit  
 Intermediate Uses\* (give date ranges) other: rental unit  
 Present Use\* (give date ranges) other: rental unit  
 Ownership History (especially original owner, dates, profession, etc.) John and Ruby West (1980)

\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

**RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)**

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> formal archaeological survey       | <input checked="" type="checkbox"/> past surveys search at FMSF | <input checked="" type="checkbox"/> local library research | <input type="checkbox"/> Sanborn maps          |
| <input type="checkbox"/> informal archaeological inspection | <input checked="" type="checkbox"/> past sites search at FMSF   | <input type="checkbox"/> non-local library research        | <input type="checkbox"/> subdivision maps      |
| <input type="checkbox"/> Public Lands Survey (DEP)          | <input type="checkbox"/> FL Archives (Gray Building)            | <input type="checkbox"/> building permits                  | <input type="checkbox"/> plat maps             |
| <input type="checkbox"/> tax records/property deeds         | <input type="checkbox"/> FL Photo Archives (Gray Building)      | <input type="checkbox"/> demolition permits                | <input type="checkbox"/> local newspaper files |
| <input checked="" type="checkbox"/> tax records only        | <input type="checkbox"/> occupant/owner interview               | <input type="checkbox"/> commercial permits                |  |
| <input type="checkbox"/> interior inspection                | <input type="checkbox"/> neighbor interview                     | <input type="checkbox"/> occupation permits                |  |
| <input type="checkbox"/> other methods (specify) _____      |   |  |  |

**SURVEYOR'S EVALUATION OF SITE (Check one choice on each line)**

Potentially eligible for local register?  yes: name register at right  no  insufficient info Name of local register if eligible: \_\_\_\_\_  
 Individually eligible for National Register?  yes  no  insufficient info \_\_\_\_\_  
 Potential contributor to Nat. Reg. district?  yes  no  insufficient info \_\_\_\_\_  
 Area(s) of Historical Significance (See National Register Bulletin 15, p. 8 for categories: e.g. "architecture," "ethnic heritage," "community planning & development," etc.)  
Community Planning and Development

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet) \_\_\_\_\_  
 Because many examples of rental units with these characteristics still exist in Pasco County and available data revealed no significant historical associations, this building does not appear to be eligible for listing in the NRHP.

**DOCUMENTATION (Photos, Plans, etc.)**

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Pasco County Property Appraiser's Office; City of Zephyrhills Historic Preservation Survey, Quatrefoil Consulting, June 1999; Zephyrhills Public Library; Zephyrhills Depot Museum; Zephyrhills City Directories 1945, 1961, 1963, 1975.  
 Photographs (required) B&W print(s) at least 3x5, at least one main facade.  
 Location of negatives & negative numbers Archaeological Consultants, Inc. Roll 1/16

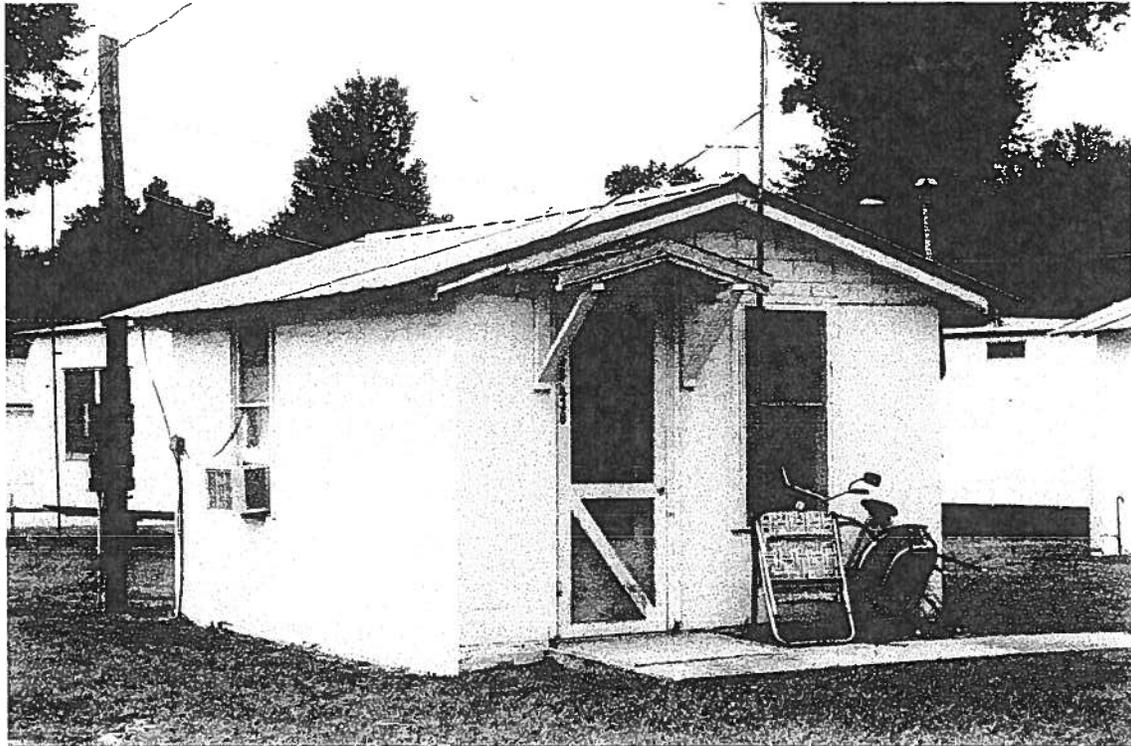
**RECORDER**

Name (last name first)/Address/Phone/Fax/Email/Affiliatio Hinder, Kimberly  
Archaeological Consultants, Inc./ P.O. Box 5103, Sarasota, FL 34277-5103/(941)925-9906/(941)925-9767/ACIMAIN@COMPUSERVE.COM

Remember: Use a Supplement for Site Forms or other continuation sheet for descriptions that do not fit in the spaces above.

- REQUIRED:**
- (1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED
  - (2) LARGE SCALE STREET OR PLAT MAP
  - (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3x5

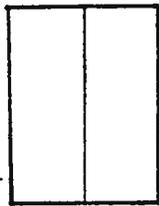
PHOTOGRAPH



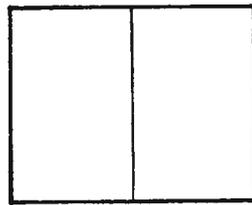
STREET OR PLAT MAP



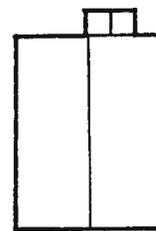
38430 STEBBINS AVENUE (8PA1176)



38436 STEBBINS AVENUE (8PA1177)



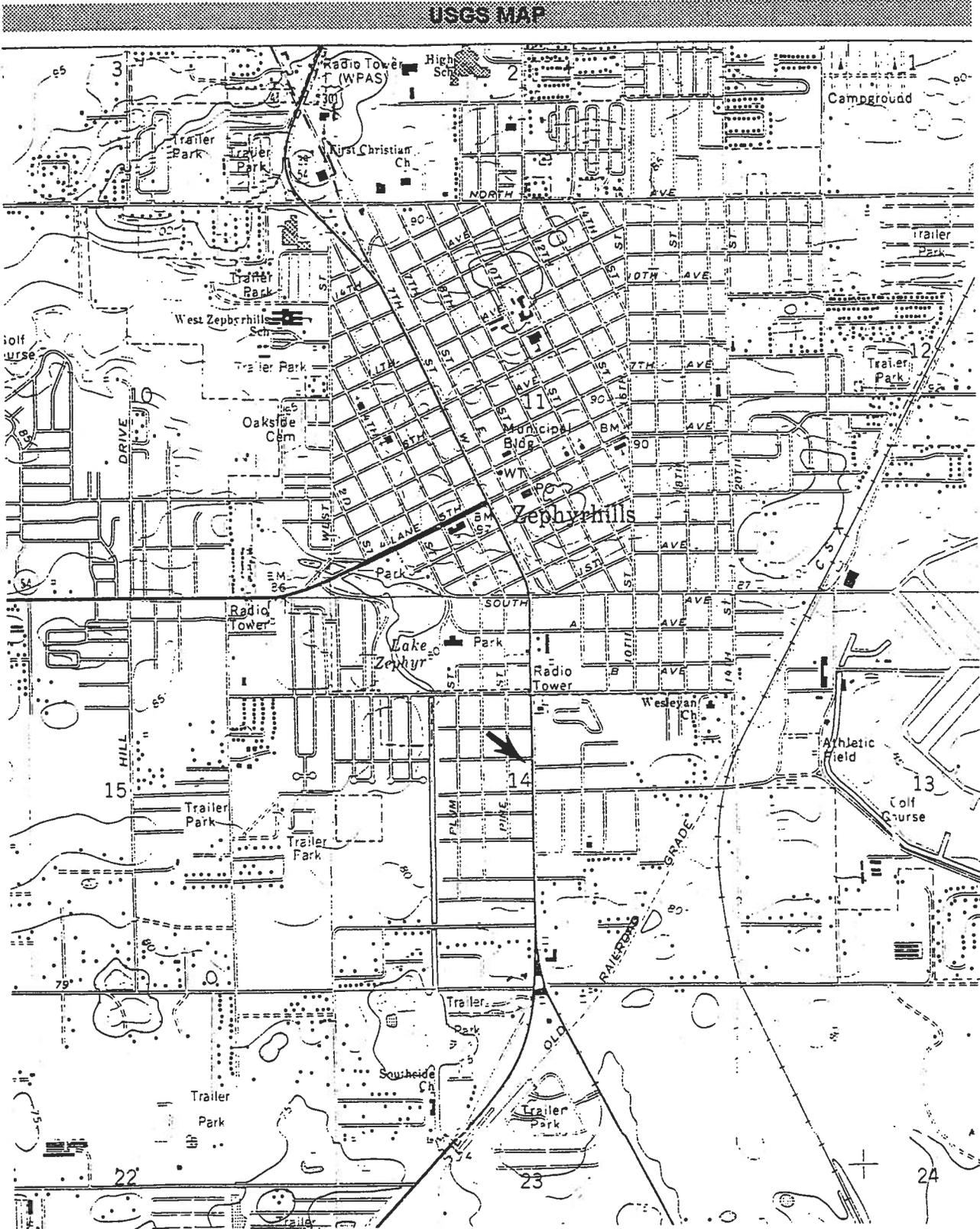
38438 STEBBINS AVENUE (8PA1178)



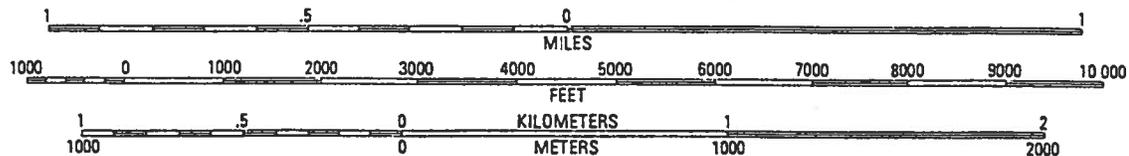
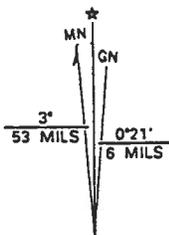
OAKDALE VILLAGE



NORTH



ZEPHYRHILLS, FLA. 1975 PR 1987  
SCALE 1:24 000



UTM GRID AND 1988 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET

# HISTORICAL STRUCTURE FORM

Site #8 PA1177

## FLORIDA MASTER SITE FILE

Recorder # 1/17

Version 3.0 11/96

Field Date 8/31/99

Original  
 Update  
(give site #)

Consult Guide To Historical Structure Forms for detailed instructions.

Form Date 11/8/99

Site Name(s) (address if none) 38436 Stebbins Avenue Multiple Listing [DHR only] \_\_\_\_\_  
Survey CRAS of US 301, Zephyrhills Survey # \_\_\_\_\_  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

### LOCATION & IDENTIFICATION

Address (Include N,S,E,W, #, St., Ave., etc.) 38436 Stebbins Avenue  
Cross Streets (nearest/between) between 6th Street and Gall Blvd. on S  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 1426210060009002010  
Subdivision name Sunrise Park Block 9 Lot 201-224  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

### MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name:  
Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting 384170 Northing 3122340  
Plat or other map (map's name, location) PB 1, Pg 58

### DESCRIPTION

Style\* Masonry Vernacular Exterior Plan\* square Number of Stories 1  
Structural System(s)\* masonry  
Foundation: Type(s)\* slab Material(s)\* concrete  
Exterior Fabric(s)\* concrete block, composition shingle  
Roof: Type(s)\* gable Material(s)\* 5V crimp  
Roof secondary strucs. (dormers etc.)\* \_\_\_\_\_  
Chimney: No 0 Material(s)\* \_\_\_\_\_ Location(s)\* \_\_\_\_\_  
Windows (types, materials, etc.)\* 1/1 DHS, wood, independent  
Main Entrance (stylistic details) \_\_\_\_\_  
Porches: #open \_\_\_\_\_ #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) \_\_\_\_\_  
Porch roof type(s) \_\_\_\_\_  
Exterior Ornament \_\_\_\_\_

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): M commercial S residential \_\_\_\_\_ institutional \_\_\_\_\_ undeveloped  
Ancillary Features (No., type of outbuildings, major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc) This building is located in Oakdale Village on same parcel as 13 other permanent buildings and temporary RVs. Six, including this building, are historic and have been recorded on FSF forms 8PA1174-8PA1179.  
Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

DHR USE ONLY*****OFFICIAL EVALUATIONS*****DHR USE ONLY			
NR DATE	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no	Date	_____
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info	Date	_____
	LOCAL DESIGNATION: _____	Date	_____
	Local office		
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)			

Consult Guide to Historical Structure Forms for detailed instructions

HISTORY

Construction date: Exactly (year) Approximately 1946 (year) Earlier than (year) Later than (year)

Architect (last name first): unknown Builder (last name first) unknown

Moves: [ ] yes [X] no [ ] unknown Date Original address

Alterations: [ ] yes [X] no [ ] unknown Date Nature\*

Additions: [ ] yes [X] no [ ] unknown Date Nature\*

Original Use\* (give date ranges) other: duplex rental unit, laundry

Intermediate Uses\* (give date ranges) other: duplex rental unit, laundry

Present Use\* (give date ranges) other: duplex rental unit, laundry

Ownership History (especially original owner, dates, profession, etc.) John and Ruby West (1980)

\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

- [ ] formal archaeological survey [X] past surveys search at FMSF [X] local library research [ ] Sanborn maps
[ ] informal archaeological inspection [X] past sites search at FMSF [ ] non-local library research [ ] subdivision maps
[ ] Public Lands Survey (DEP) [ ] FL Archives (Gray Building) [ ] building permits [ ] plat maps
[ ] tax records/property deeds [ ] FL Photo Archives (Gray Building) [ ] demolition permits [ ] local newspaper files
[X] tax records only [ ] occupant/owner interview [ ] commercial permits
[ ] interior inspection [ ] neighbor interview [ ] occupation permits
[ ] other methods (specify)

SURVEYOR'S EVALUATION OF SITE (Check one choice on each line)

Potentially eligible for local register? [ ] yes: name register at right [X] no [ ] insufficient info Name of local register if eligible:

Individually eligible for National Register? [ ] yes [X] no [ ] insufficient info

Potential contributor to Nat. Reg. district? [ ] yes [X] no [ ] insufficient info

Area(s) of Historical Significance (See National Register Bulletin 15, p. 8 for categories: e.g. "architecture," "ethnic heritage," "community planning & development," etc.)

Community Planning and Development

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet)

Given the similarity of this building to others in Pasco County and the lack of historic significance in the available data, this building does not appear to meet NRHP eligibility criteria.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Pasco County Property Appraiser's Office; City of Zephyrhills Historic Preservation Survey, Quatrefoil Consulting, June 1999; Zephyrhills Public Library; Zephyrhills Depot Museum;

Zephyrhills City Directories, 1945, 1961, 1963, 1975.

Photographs (required) B&W print(s) at least 3x5, at least one main facade.

Location of negatives & negative numbers Archaeological Consultants, Inc. Roll 1/17

RECORDER

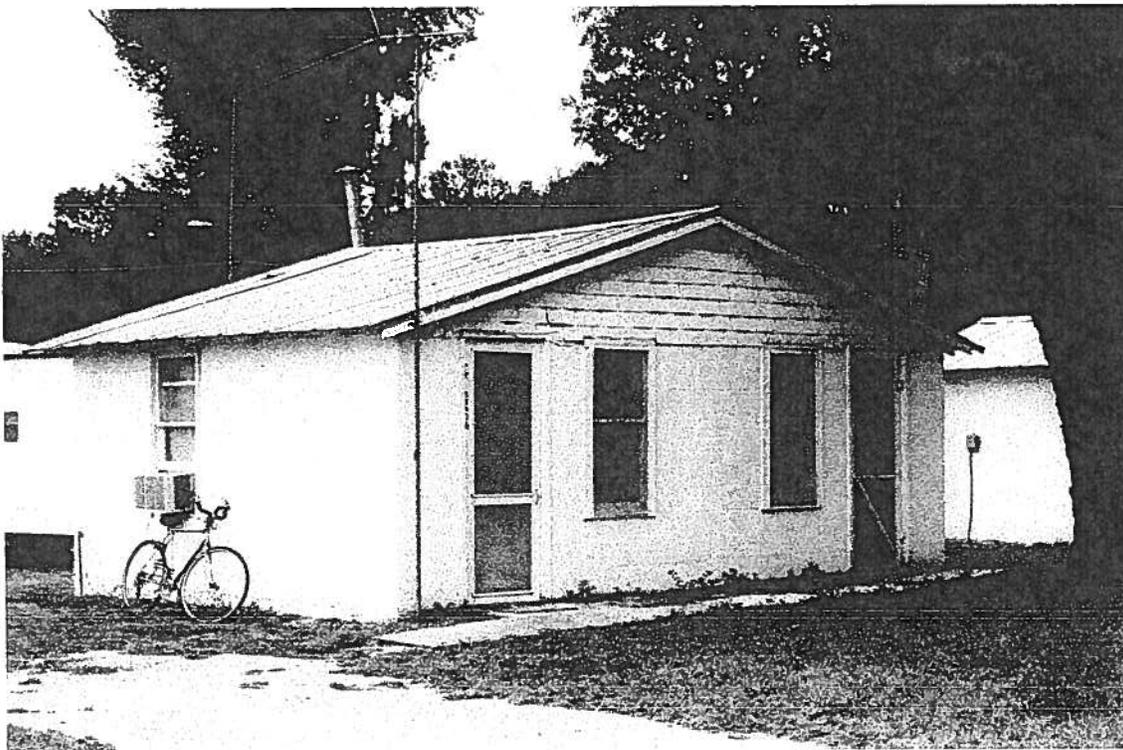
Name (last name first)/Address/Phone/Fax/Email/Affiliatio Hinder, Kimberly

Archaeological Consultants, Inc. / P.O. Box 5103, Sarasota, FL 34277-5103/(941)925-9906/(941)925-9767/ACIMAIN@COMPUSERVE.COM

Remember: Use a Supplement for Site Forms or other continuation sheet for descriptions that do not fit in the spaces above.

- REQUIRED: (1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED
(2) LARGE SCALE STREET OR PLAT MAP
(3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3x5

PHOTOGRAPH



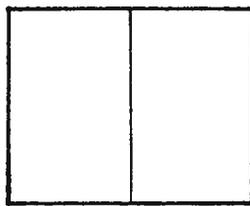
STREET OR PLAT MAP



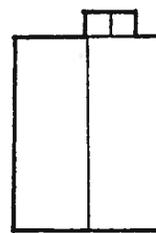
38430 STEBBINS AVENUE (8PA1176)



38436 STEBBINS AVENUE (8PA1177)

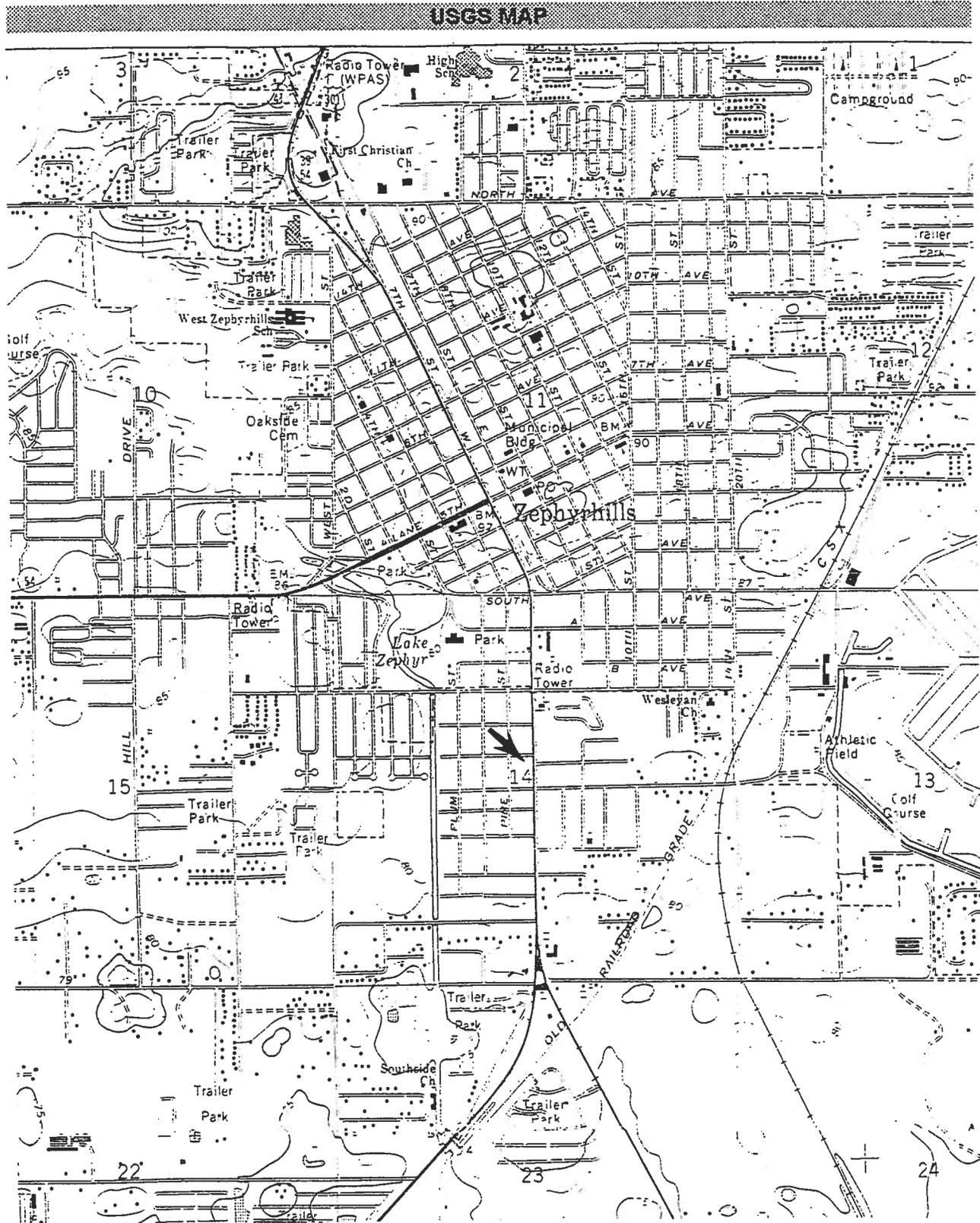


38438 STEBBINS AVENUE (8PA1178)

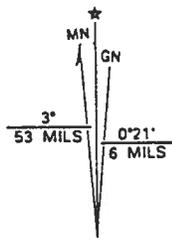


OAKDALE VILLAGE

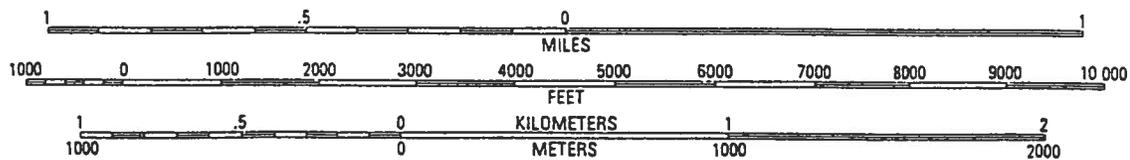




ZEPHYRHILLS, FLA. 1975 PR 1987  
SCALE 1:24 000



UTM GRID AND 1988 MAGNETIC NORTH DECLINATION AT CENTER OF SHEET



# HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE

Site #8 PA1176

Original  
 Update  
(give site #)

Version 3.0 11/96

Recorder # 1/18  
Field Date 8/31/99  
Form Date 11/8/99

Consult Guide To Historical Structure Forms for detailed instructions.

Site Name(s) (address if none) 38430 Stebbins Avenue Multiple Listing [DHR only]  
Survey CRAS of US 301, Zephyrhills Survey #  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

## LOCATION & IDENTIFICATION

Address (Include N,S,E,W;#;St.,Ave.,etc.) 38430 Stebbins Avenue  
Cross Streets (nearest/between) between 6th Street and Gall Blvd. on S  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 1426210060009002010  
Subdivision name Sunrise Park Block 9 Lot 201-224  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park)  
Route to (especially if no street address)

## MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name:  
Landgrant UTM: Zone  16  17 Easting 384150 Northing 3122340  
Plat or other map (map's name, location) PB 1, Pg 58

## DESCRIPTION

Style\* Masonry Vernacular Exterior Plan\* rectangular Number of Stories 1  
Structural System(s)\* masonry  
Foundation: Type(s)\* slab Material(s)\* concrete  
Exterior Fabric(s)\* concrete block, composition shingle  
Roof: Type(s)\* gable Material(s)\* 5V crimp  
Roof secondary strucs. (dormers etc.)\*  
Chimney: No 0 Material(s)\* Location(s)\*  
Windows (types, materials, etc.)\* 1/1 DHS, wood, independent  
Main Entrance (stylistic details)  
Porches: #open #closed #incised Location(s)  
Porch roof type(s)  
Exterior Ornament

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): M commercial S residential institutional undeveloped  
Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc) This building is located in Oakdale Village on same parcel as 13 other permanent buildings and temporary RVs. Six, including this building, are historic and have been recorded on FSF forms 8PA1174-8PA1179.  
Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

DHR USE ONLY*****OFFICIAL EVALUATIONS*****DHR USE ONLY			
NR DATE	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no	Date	
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info	Date	
	LOCAL DESIGNATION: Local office	Date	
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)			

Consult Guide to Historical Structure Forms for detailed instructions

HISTORY

Construction date: Exactly (year) Approximately 1946 (year) Earlier than (year) Later than (year)

Architect (last name first): unknown Builder (last name first) unknown

Moves: yes no unknown Date Original address

Alterations: yes no unknown Date Nature\*

Additions: yes no unknown Date Nature\*

Original Use\* (give date ranges) other: rental unit

Intermediate Uses\* (give date ranges) other: rental unit

Present Use\* (give date ranges) other: rental unit

Ownership History (especially original owner, dates, profession, etc.) John and Ruby West (1980)

\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

- formal archaeological survey, informal archaeological inspection, Public Lands Survey (DEP), tax records/property deeds, tax records only, interior inspection, other methods (specify), past surveys search at FMSF, past sites search at FMSF, FL Archives (Gray Building), FL Photo Archives (Gray Building), occupant/owner interview, neighbor interview, local library research, non-local library research, building permits, demolition permits, commercial permits, occupation permits, Sanborn maps, subdivision maps, plat maps, local newspaper files

SURVEYOR'S EVALUATION OF SITE (Check one choice on each line)

Potentially eligible for local register? yes: name register at right no insufficient info Name of local register if eligible:

Individually eligible for National Register? yes no insufficient info

Potential contributor to Nat. Reg. district? yes no insufficient info

Area(s) of Historical Significance (See National Register Bulletin 15, p. 8 for categories: e.g. "architecture," "ethnic heritage," "community planning & development," etc.)

Community Planning and Development

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet)

This building is typical of Masonry Vernacular rental units found throughout the immediate area and Pasco County.

In addition, limited available data suggest no historical significance. Consequently, it does not appear to meet

NRHP eligibility criteria.

DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Pasco County Property Appraiser's Office; City of

Zephyrhills Historic Preservation Survey, Quatrefoil Consulting, June 1999; Zephyrhills Public Library; Zephyrhills Depot Museum;

Zephyrhills City Directories 1945, 1961, 1963, 1975.

Photographs (required) B&W print(s) at least 3x5, at least one main facade.

Location of negatives & negative numbers Archaeological Consultants, Inc. Roll 1/18

RECORDER

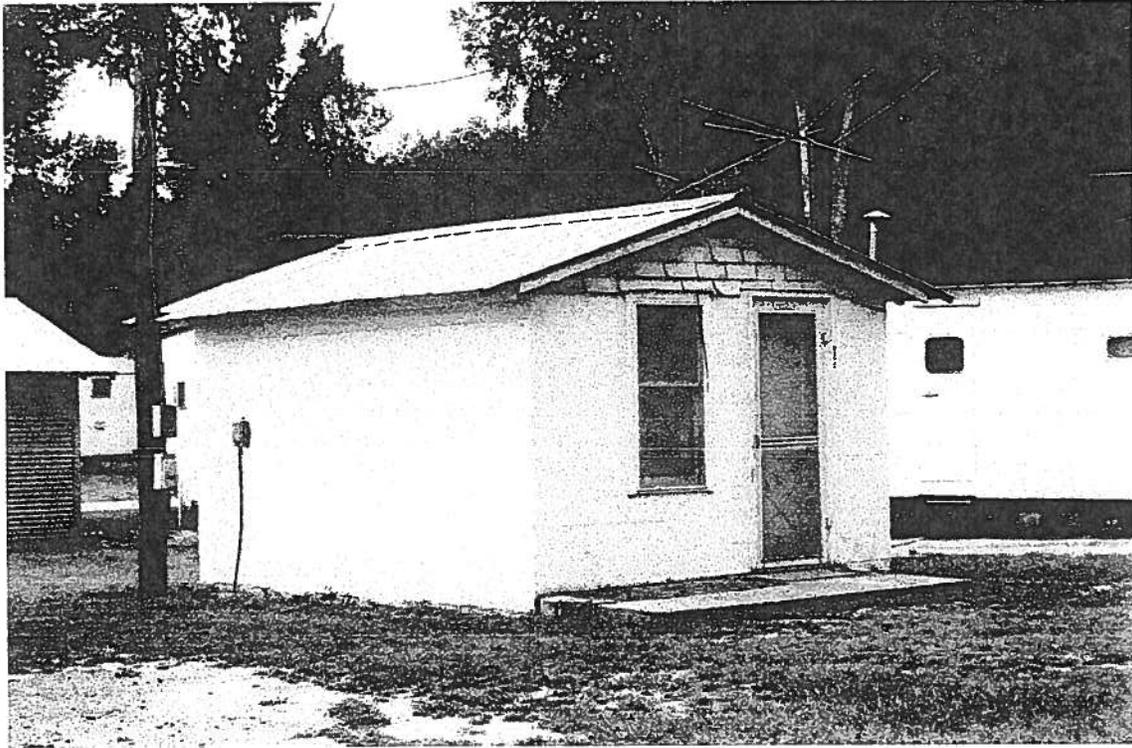
Name (last name first)/Address/Phone/Fax/Email/Affiliatio Hinder, Kimberly

Archaeological Consultants, Inc./ P.O. Box 5103, Sarasota, FL 34277-5103/(941)925-9906/(941)925-9767/ACIMAIN@COMPUSERVE.COM

Remember: Use a Supplement for Site Forms or other continuation sheet for descriptions that do not fit in the spaces above.

- REQUIRED: (1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED (2) LARGE SCALE STREET OR PLAT MAP (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3x5

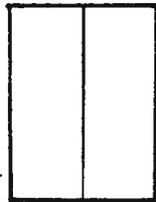
PHOTOGRAPH



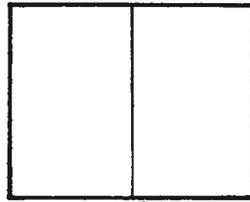
STREET OR PLAT MAP



38430 STEBBINS AVENUE (8PA1176)



38436 STEBBINS AVENUE (8PA1177)



38438 STEBBINS AVENUE (8PA1178)



OAKDALE VILLAGE





# HISTORICAL STRUCTURE FORM

Site #8 PA1175

## FLORIDA MASTER SITE FILE

Recorder # 1/25

Version 3.0 11/96

Field Date 8/31/99

Original  
 Update  
(give site #)

Consult Guide To Historical Structure Forms for detailed instructions.

Form Date 11/8/99

Site Name(s) (address if none) 38437 Alston Avenue Multiple Listing [DHR only] \_\_\_\_\_  
Survey CRAS of US 301, Zephyrhills Survey # \_\_\_\_\_  
National Register Category (Please check one: consult with Site File before using last four):  building  structure  district  site  object

### LOCATION & IDENTIFICATION

Address (Include N,S,E,W, #, St., Ave., etc.) 38437 Alston Avenue  
Cross Streets (nearest/between) between 6th Street and Gall Blvd. on N  
City/Town (within 3 miles) Zephyrhills In Current City Limits:  y  n  unknown  
County Pasco Tax Parcel #(s) 1426210060009002010  
Subdivision name Sunrise Park Block 9 Lot 201-224  
Ownership (Please check one):  private-profit  private-individual  city  county  Native American  
 private-nonprofit  private-unspecified  state  federal  foreign  unknown  
Name of Public Tract (e.g., park) \_\_\_\_\_  
Route to (especially if no street address) \_\_\_\_\_

### MAPPING

USGS 7.5' Map Name & Date Zephyrhills, Fla. 1975 PR 1987  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE  Irregular-name: \_\_\_\_\_  
Landgrant \_\_\_\_\_ UTM: Zone  16  17 Easting 384160 Northing 3122240  
Plat or other map (map's name, location) PB 1, Pg 58

### DESCRIPTION

Style\* Frame Vernacular Exterior Plan\* rectangular Number of Stories 1  
Structural System(s)\* wood frame  
Foundation: Type(s)\* pier Material(s)\* concrete block  
Exterior Fabric(s)\* asbestos shingle  
Roof: Type(s)\* gable Material(s)\* 5V crimp  
Roof secondary strucs. (dormers etc.)\* \_\_\_\_\_  
Chimney: No 0 Material(s)\* \_\_\_\_\_ Location(s)\* \_\_\_\_\_  
Windows (types, materials, etc.)\* 1/1 DHS, wood, independent  
Main Entrance (stylistic details) \_\_\_\_\_  
Porches: #open 2 #closed \_\_\_\_\_ #incised \_\_\_\_\_ Location(s) N, S  
Porch roof type(s) gable, gable  
Exterior Ornament gable vent

Interior Plan\* unknown  
Condition (Please check one):  excellent  good  fair  deteriorated  ruinous  
Surroundings (N=None, S=Some, M=Most, A=All/nearly all): M commercial S residential \_\_\_\_\_ institutional \_\_\_\_\_ undeveloped  
Ancillary Features (No., type of outbuildings; major landscape features. Use continuation sheet for descriptions of interior, landscaping, etc) This building is located in Oakdale Village with 13 other permanent buildings and temporary RVs. Six, including this building, are historic and have been recorded on FSF forms 8PA1174-8PA1179.  
Archaeological Remains None observed.  Check if Archaeological Form completed  
\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

### DHR USE ONLY \*\*\*\*\* OFFICIAL EVALUATIONS \*\*\*\*\* DHR USE ONLY

NR DATE	KEEPER-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no	Date
DELIST DATE	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info	Date
	LOCAL DESIGNATION: _____	Date
	Local office	
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p.2)		

Consult Guide to Historical Structure Forms for detailed instructions

## HISTORY

Construction date: Exactly \_\_\_\_\_ (year) Approximately 1946 (year) Earlier than \_\_\_\_\_ (year) Later than \_\_\_\_\_ (year)  
 Architect (last name first): unknown Builder (last name first) unknown  
 Moves:  yes  no  unknown Date \_\_\_\_\_ Original address \_\_\_\_\_  
 Alterations:  yes  no  unknown Date \_\_\_\_\_ Nature\* \_\_\_\_\_  
 Additions:  yes  no  unknown Date \_\_\_\_\_ Nature\* \_\_\_\_\_  
 Original Use\* (give date ranges) other: rental unit  
 Intermediate Uses\* (give date ranges) other: rental unit  
 Present Use\* (give date ranges) other: rental unit  
 Ownership History (especially original owner, dates, profession, etc.) John and Ruby West (1980)

\*Consult Guide to Historical Structure Forms for preferred descriptions (coded fields at the Site File).

## RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> formal archaeological survey       | <input checked="" type="checkbox"/> past surveys search at FMSF | <input checked="" type="checkbox"/> local library research | <input type="checkbox"/> Sanborn maps          |
| <input type="checkbox"/> informal archaeological inspection | <input checked="" type="checkbox"/> past sites search at FMSF   | <input type="checkbox"/> non-local library research        | <input type="checkbox"/> subdivision maps      |
| <input type="checkbox"/> Public Lands Survey (DEP)          | <input type="checkbox"/> FL Archives (Gray Building)            | <input type="checkbox"/> building permits                  | <input type="checkbox"/> plat maps             |
| <input type="checkbox"/> tax records/property deeds         | <input type="checkbox"/> FL Photo Archives (Gray Building)      | <input type="checkbox"/> demolition permits                | <input type="checkbox"/> local newspaper files |
| <input checked="" type="checkbox"/> tax records only        | <input type="checkbox"/> occupant/owner interview               | <input type="checkbox"/> commercial permits                |  |
| <input type="checkbox"/> interior inspection                | <input type="checkbox"/> neighbor interview                     | <input type="checkbox"/> occupation permits                |  |
| <input type="checkbox"/> other methods (specify) _____      |   |  |  |

## SURVEYOR'S EVALUATION OF SITE (Check one choice on each line)

Potentially eligible for local register?  yes: name register at right  no  insufficient info Name of local register if eligible: \_\_\_\_\_  
 Individually eligible for National Register?  yes  no  insufficient info \_\_\_\_\_  
 Potential contributor to Nat. Reg. district?  yes  no  insufficient info \_\_\_\_\_  
 Area(s) of Historical Significance (See National Register Bulletin 15, p. 8 for categories: e.g. "architecture," "ethnic heritage," "community planning & development," etc.)  
 Community Planning and Development \_\_\_\_\_

Explanation of Evaluation (required, whether positive or not; limit to three lines; attach longer statement, if needed, on separate sheet)  
 Based on available data, this Frame Vernacular rental unit does not have any known historical significance. Consequently, as a typical example of Frame Vernacular architecture in Pasco County, it does not appear to be NRHP eligible.

## DOCUMENTATION (Photos, Plans, etc.)

Bibliographic References (Use Continuation Sheet, give FMSF Manuscript # if relevant) Pasco County Property Appraiser's Office; City of Zephyrhills Historic Preservation Survey, Quatrefoil Consulting, June 1999; Zephyrhills Public Library; Zephyrhills Depot Museum; Zephyrhills City Directories, 1945, 1961, 1963, 1975.  
 Photographs (required) B&W print(s) at least 3x5, at least one main facade.  
 Location of negatives & negative numbers Archaeological Consultants, Inc. Roll 1/25

## RECORDER

Name (last name first)/Address/Phone/Fax/Email/Affiliation Hinder, Kimberly  
 Archaeological Consultants, Inc./ P.O. Box 5103, Sarasota, FL 34277-5103/(941)925-9906/(941)925-9767/ACIMAIN@COMPUSERVE.COM

Remember: Use a Supplement for Site Forms or other continuation sheet for descriptions that do not fit in the spaces above.

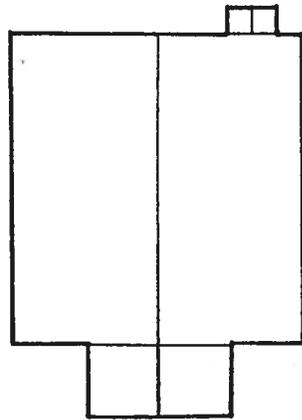
**REQUIRED:** (1) USGS 7.5' MAP WITH STRUCTURE PINPOINTED IN RED  
 (2) LARGE SCALE STREET OR PLAT MAP  
 (3) PHOTO OF MAIN FACADE, PREFER B&W, AT LEAST 3x5

PHOTOGRAPH



STREET OR PLAT MAP

OAKDALE VILLAGE ↑

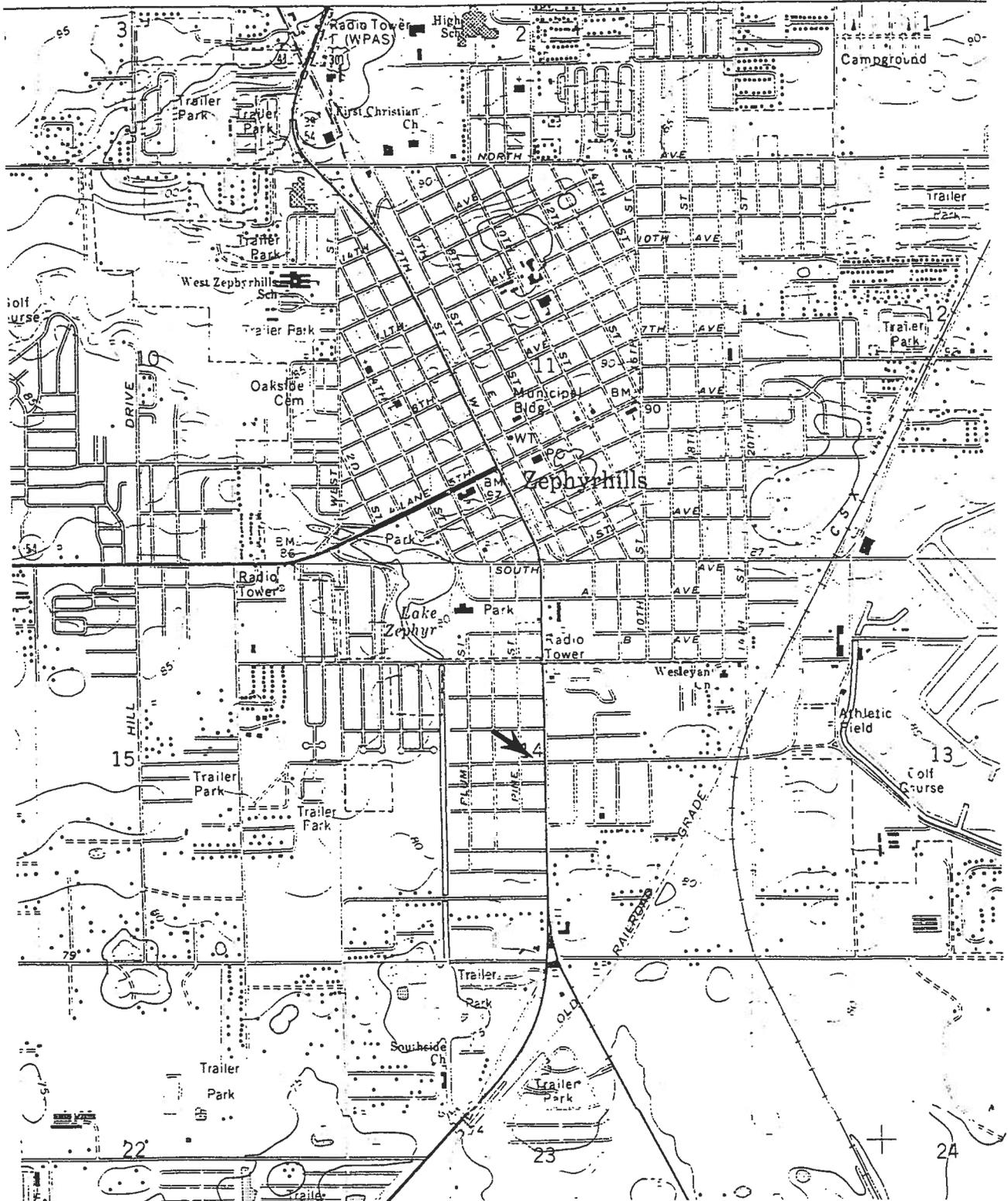


← 38437 ALSTON AVENUE

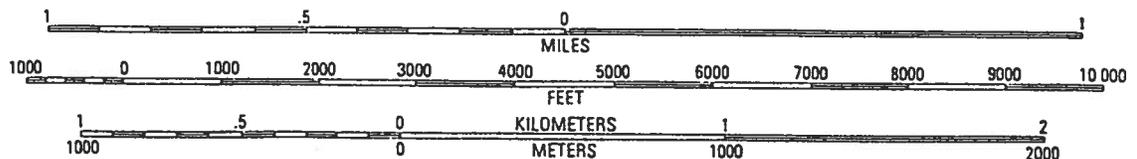
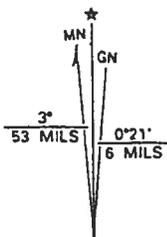


NORTH

USGS MAP

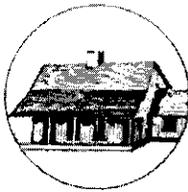


ZEPHYRHILLS, FLA. 1975 PR 1987  
SCALE 1:24 000



UTM GRID AND 1988 MAGNETIC NORTH  
DECLINATION AT CENTER OF SHEET

Original  
 Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 **PA00923**  
Field Date 3-25-1999  
Form Date 7-19-1999  
Recorder # 244

Shaded Fields represent the minimum acceptable level of documentation.  
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 4741 6TH STREET Multiple Listing (DHR only) \_\_\_\_\_  
Survey Project Name CITY OF ZEPHYRHILLS HISTORIC PRESERVATION SURVEY Survey # (DHR only) 5603  
National Register Category (please check one)  building  structure  district  site  object  
Ownership:  private-profit  private-nonprofit  private-individual  private-nonspecific  city  county  state  federal  Native American  foreign  unknown

### LOCATION & MAPPING

Street Number 4741 Direction \_\_\_\_\_ Street Name 6TH Street Type Street Suffix Direction \_\_\_\_\_  
Address: \_\_\_\_\_  
Cross Streets (nearest / between) W SIDE OF ST, BETWEEN C & B AVE  
USGS 7.5 Map Name ZEPHYRHILLS USGS Date 1993 Plat or Other Map \_\_\_\_\_  
City / Town (within 3 miles) ZEPHYRHILLS In City Limits?  yes  no  unknown County Pasco  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE Irregular-name: \_\_\_\_\_  
Tax Parcel # \_\_\_\_\_ Landgrant \_\_\_\_\_  
Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
UTM Coordinates: Zone  16  17 Easting 384130 Northing 3122860  
Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1925  approximately  year listed or earlier  year listed or later  
Original Use Private residence From (year): C1925 To (year): 1998  
Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Moves:  yes  no  unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
Alterations:  yes  no  unknown Date: \_\_\_\_\_ Nature REPLACED WINDOWS  
Additions:  yes  no  unknown Date: \_\_\_\_\_ Nature REAR (W) GABLED ADDITION  
Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance?  yes  no  unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Craftsman Exterior Plan Rectangular Number of Stories 1  
Exterior Fabric(s) 1. Weatherboard 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
Windows (types, materials, etc.) SHS, METAL, 1/1; JALOUSIE, METAL, MULTI

Distinguishing Architectural Features (exterior or interior ornaments) KNEE BRACES

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) ATTACHED NONHISTORIC CARPORT TO S SIDE

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

DESCRIPTION (continued)

Chimney: No. \_\_\_\_\_ Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_
Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_
Foundation Type(s): 1. Piers 2. LATTICE INFILL
Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_
Main Entrance (stylistic details) \_\_\_\_\_

Porch Descriptions (types, locations, roof types, etc.) Incised Porches = 1 | Locations = E/2BAY/FULL-HEIGHT WOOD POSTS ON BRICK FOUNDATIONS/LATTICE RAILING | Roofs = FRONT GABLE

Condition (overall resource condition): [ ] excellent [x] good [ ] fair [ ] deteriorated [ ] ruinous
Narrative Description of Resource \_\_\_\_\_

Archaeological Remains \_\_\_\_\_ [ ] Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

- [ ] FMSF record search (sites/surveys) [ ] library research [ ] building permits [ ] Sanborn maps
[ ] FL State Archives/photo collection [ ] city directory [ ] occupant/owner interview [ ] plat maps
[ ] property appraiser / tax records [ ] newspaper files [ ] neighbor interview [ ] Public Lands Survey (DEP)
[ ] cultural resource survey (CRAS) [ ] historic photos [ ] interior inspection [ ] HABS/HAER record search
[ ] other methods (describe) FSFP, TAX

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) \_\_\_\_\_

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? [ ] yes [x] no [ ] insufficient information
Appears to meet the criteria for National Register listing as part of a district? [x] yes [ ] no [ ] insufficient information
Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) HOUSE RETAINS ENOUGH HISTORIC FABRIC TO BE CONTRIBUTING TO A DISTRICT.

Area(s) of Historical Significance (see National Register Bulletin 15, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)
1. Community planning & development 3. \_\_\_\_\_ 5. \_\_\_\_\_
2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents
1) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_
2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_
Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

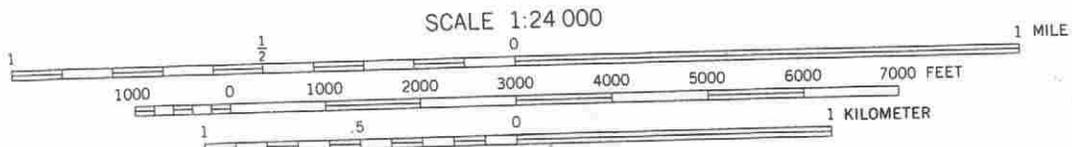
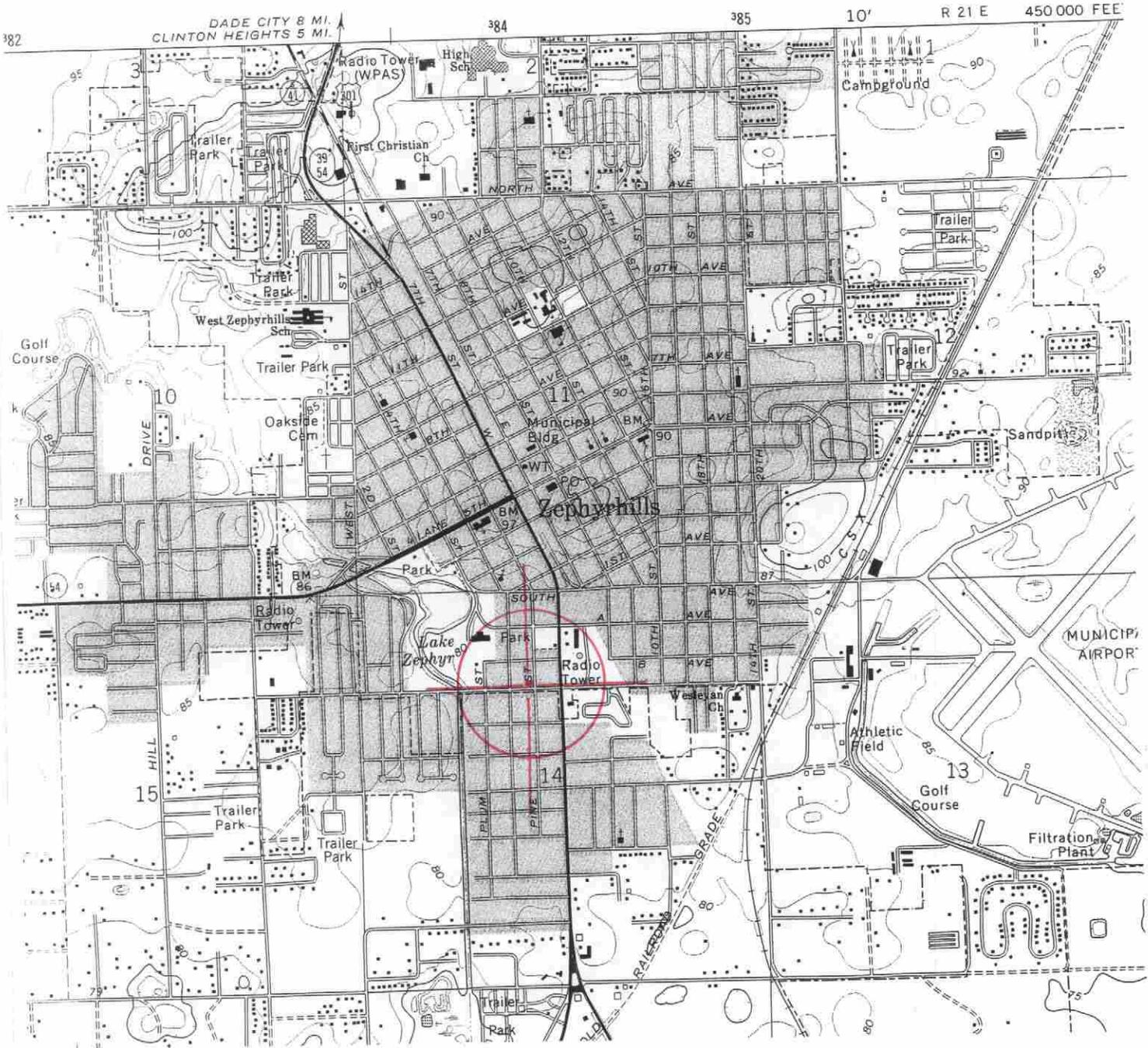
RECORDER INFORMATION

Recorder Name ANDERSON SHERRY Affiliation Other
Recorder Contact Information 22 WEST BRYAN ST. #139, SAVANNAH, GA 31401
(address / phone / fax / e-mail)

Required Attachments

- 1 USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
2 LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
3 PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable). Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

USGS Map



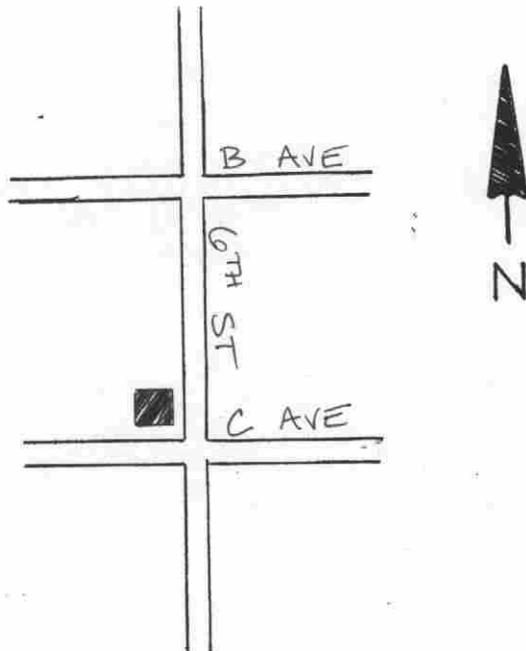
CONTOUR INTERVAL 5 FEET  
 NATIONAL GEODETIC VERTICAL DATUM OF 1929

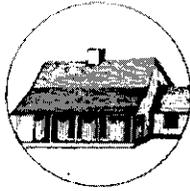
ZEPHYRHILLS, FLA.  
 28082-B2-TF-024  
 1975  
 PHOTOREVISED 1987  
 MINOR REVISION 1993

**Photograph**



**Map**





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 PA00932  
Field Date 3-25-1999  
Form Date 7-19-1999  
Recorder # 25391

Original  
 Update

Shaded Fields represent the minimum acceptable level of documentation.  
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 4944 6TH STREET Multiple Listing (DHR only) \_\_\_\_\_  
Survey Project Name CITY OF ZEPHYRHILLS HISTORIC PRESERVATION SURVEY Survey # (DHR only) 5603  
National Register Category (please check one)  building  structure  district  site  object  
Ownership:  private-profit  private-nonprofit  private-individual  private-nonspecific  city  county  state  federal  Native American  foreign  unknown

### LOCATION & MAPPING

Street Number 4944 Direction \_\_\_\_\_ Street Name 6TH Street Type Street Suffix Direction \_\_\_\_\_  
Address: \_\_\_\_\_  
Cross Streets (nearest / between) E SIDE OF ST, BETWEEN SOUTH & A AVE  
USGS 7.5 Map Name ZEPHYRHILLS USGS Date 1993 Plat or Other Map \_\_\_\_\_  
City / Town (within 3 miles) ZEPHYRHILLS In City Limits?  yes  no  unknown County Pasco  
Township 26S Range 21E Section 14 1/4 section:  NW  SW  SE  NE Irregular-name: \_\_\_\_\_  
Tax Parcel # \_\_\_\_\_ Landgrant \_\_\_\_\_  
Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
UTM Coordinates: Zone  16  17 Easting 384119 Northing 3123261  
Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1940  approximately  year listed or earlier  year listed or later  
Original Use Private residence From (year): c1940 To (year): 1998  
Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Moves:  yes  no  unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
Alterations:  yes  no  unknown Date: \_\_\_\_\_ Nature ALTERED PORCH  
Additions:  yes  no  unknown Date: \_\_\_\_\_ Nature REAR (E) SHED PORCH  
Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance?  yes  no  unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Folk Victorian, Frame Exterior Plan Rectangular Number of Stories 1  
Exterior Fabric(s) 1. Vinyl 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Material(s) 1. Sheet metal:5V crimp 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
Windows (types, materials, etc.) SHS, METAL, 6/6

Distinguishing Architectural Features (exterior or interior ornaments) \_\_\_\_\_

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) \_\_\_\_\_

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

**DESCRIPTION (continued)**

Chimney: No. \_\_\_\_\_ Chimney Material(s): 1. \_\_\_\_\_ 2. \_\_\_\_\_  
 Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Piers 2. \_\_\_\_\_  
 Foundation Material(s): 1. Concrete Block 2. \_\_\_\_\_  
 Main Entrance (stylistic details) \_\_\_\_\_

Porch Descriptions (types, locations, roof types, etc.) Open Porches = 2 | Locations = W/1 BAY/METAL SUPPORTS; E/NONHISTORIC/  
PARTIAL-WIDTH | Roofs = FRONT GABLE; SHED

Condition (overall resource condition):  excellent  good  fair  deteriorated  ruinous

Narrative Description of Resource \_\_\_\_\_

Archaeological Remains \_\_\_\_\_  Check if Archaeological Form Completed

**RESEARCH METHODS (check all that apply)**

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys)        | <input type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection        | <input type="checkbox"/> city directory   | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input type="checkbox"/> property appraiser / tax records          | <input type="checkbox"/> newspaper files  | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS)           | <input type="checkbox"/> historic photos  | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input type="checkbox"/> other methods (describe) <u>FSPF, TAX</u> |   |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) \_\_\_\_\_

**OPINION OF RESOURCE SIGNIFICANCE**

Appears to meet the criteria for National Register listing individually?  yes  no  insufficient information

Appears to meet the criteria for National Register listing as part of a district?  yes  no  insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) HOUSE DOES NOT RETAIN ENOUGH HISTORIC FABRIC  
TO BE CONTRIBUTING TO A DISTRICT.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. \_\_\_\_\_ 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

**DOCUMENTATION**

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

**RECORDER INFORMATION**

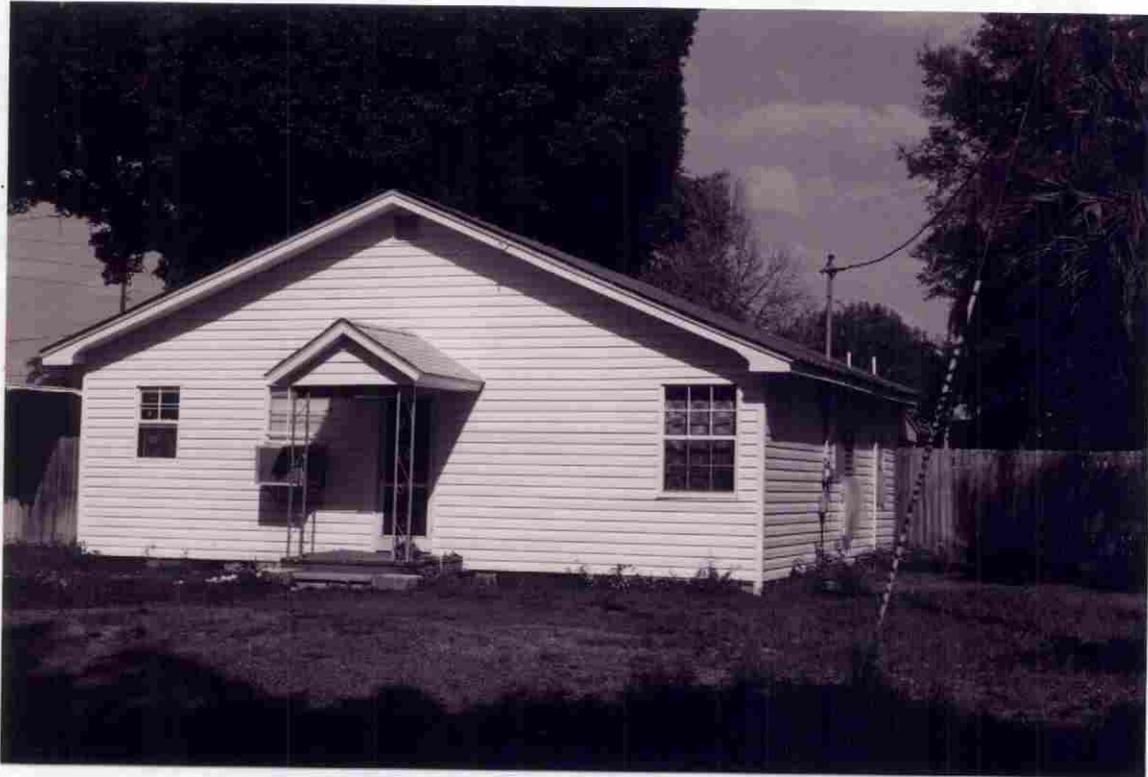
Recorder Name ANDERSON SHERRY Affiliation Other

Recorder Contact Information 22 WEST BRYAN ST. #139, SAVANNAH, GA 31401  
 (address / phone / fax / e-mail)

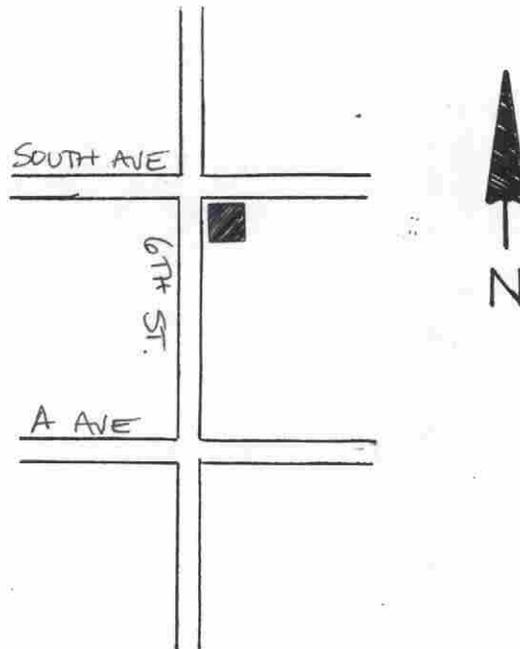
**Required Attachments**

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.

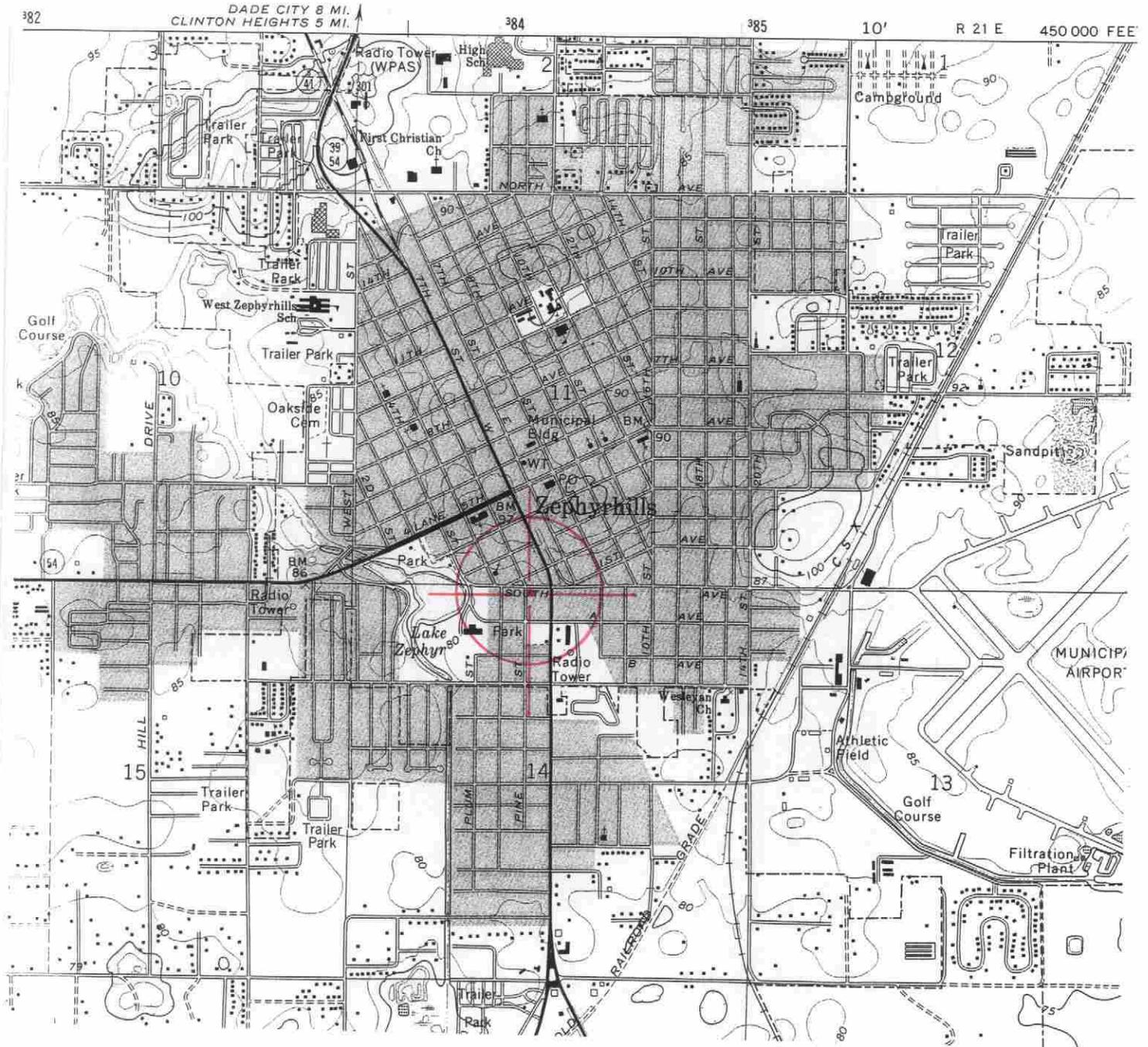
Photograph



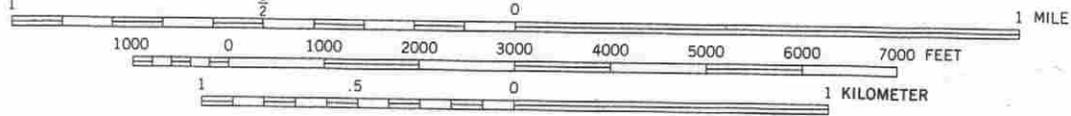
Map



USGS Map



SCALE 1:24 000

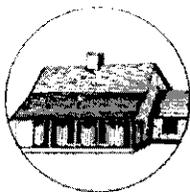


CONTOUR INTERVAL 5 FEET  
NATIONAL GEODETIC VERTICAL DATUM OF 1929

ZEPHYRHILLS, FLA.  
28082-B2-TF-024

1975  
PHOTOREVISED 1987  
MINOR REVISION 1993

Original  
 Update



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Version 4.0 1/07

Site #8 PA00939  
Field Date 3-25-1999  
Form Date 7-19-1999  
Recorder # 260

Shaded Fields represent the minimum acceptable level of documentation.  
Consult the *Guide to Historical Structure Forms* for detailed instructions.

Site Name(s) (address if none) 5117 6TH STREET Multiple Listing (DHR only) \_\_\_\_\_  
Survey Project Name CITY OF ZEPHYRHILLS HISTORIC PRESERVATION SURVEY Survey # (DHR only) 5603  
National Register Category (please check one)  building  structure  district  site  object  
Ownership:  private-profit  private-nonprofit  private-individual  private-nonspecific  city  county  state  federal  Native American  foreign  unknown

### LOCATION & MAPPING

Street Number 5117 Direction \_\_\_\_\_ Street Name 6TH Street Type Street Suffix Direction \_\_\_\_\_  
Address: 5117 6TH Street  
Cross Streets (nearest / between) NW CORNER OF 6TH ST & 4TH AVE  
USGS 7.5 Map Name ZEPHYRHILLS USGS Date 1993 Plat or Other Map \_\_\_\_\_  
City / Town (within 3 miles) ZEPHYRHILLS In City Limits?  yes  no  unknown County Pasco  
Township 26S Range 21E Section 11 1/4 section:  NW  SW  SE  NE Irregular-name: \_\_\_\_\_  
Tax Parcel # \_\_\_\_\_ Landgrant \_\_\_\_\_  
Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
UTM Coordinates: Zone  16  17 Easting 383989 Northing 3123471  
Other Coordinates: X: \_\_\_\_\_ Y: \_\_\_\_\_ Coordinate System & Datum \_\_\_\_\_  
Name of Public Tract (e.g., park) \_\_\_\_\_

### HISTORY

Construction Year: 1930  approximately  year listed or earlier  year listed or later  
Original Use Private residence From (year): c1930 To (year): 1998  
Current Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Other Use \_\_\_\_\_ From (year): \_\_\_\_\_ To (year): \_\_\_\_\_  
Moves:  yes  no  unknown Date: \_\_\_\_\_ Original address \_\_\_\_\_  
Alterations:  yes  no  unknown Date: \_\_\_\_\_ Nature ENCLOSED FRONT PORCH  
Additions:  yes  no  unknown Date: \_\_\_\_\_ Nature REAR (W) SHED ADDITION  
Architect (last name first): \_\_\_\_\_ Builder (last name first): \_\_\_\_\_  
Ownership History (especially original owner, dates, profession, etc.) \_\_\_\_\_

Is the Resource Affected by a Local Preservation Ordinance?  yes  no  unknown Describe \_\_\_\_\_

### DESCRIPTION

Style Folk Victorian, Frame Exterior Plan Rectangular Number of Stories 1  
Exterior Fabric(s) 1. Drop siding 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Type(s) 1. Gable 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof Material(s) 1. Composition shingles 2. \_\_\_\_\_ 3. \_\_\_\_\_  
Roof secondary strucs. (dormers etc.) 1. \_\_\_\_\_ 2. \_\_\_\_\_  
Windows (types, materials, etc.) DHS, WOOD, 1/1; JALOUSIE, METAL, MULTI; AWNING, METAL, 2 AND 3  
Distinguishing Architectural Features (exterior or interior ornaments) DECORATIVE SHUTTERS

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) GABLED NONHISTORIC CARPORT ATTACHED TO S SIDE

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date _____	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date _____	Init. _____		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date _____			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see <i>National Register Bulletin 15</i> , p. 2)				

## DESCRIPTION (continued)

Chimney: No. 1 Chimney Material(s): 1. Brick 2. \_\_\_\_\_  
 Structural System(s): 1. Wood frame 2. \_\_\_\_\_ 3. \_\_\_\_\_  
 Foundation Type(s): 1. Continuous 2. \_\_\_\_\_  
 Foundation Material(s): 1. Poured Concrete Footing 2. UNSP  
 Main Entrance (stylistic details) \_\_\_\_\_

Porch Descriptions (types, locations, roof types, etc.) \_\_\_\_\_

Condition (overall resource condition):  excellent  good  fair  deteriorated  ruinous

Narrative Description of Resource \_\_\_\_\_

Archaeological Remains \_\_\_\_\_  Check if Archaeological Form Completed

## RESEARCH METHODS (check all that apply)

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> FMSF record search (sites/surveys)        | <input type="checkbox"/> library research | <input type="checkbox"/> building permits         | <input type="checkbox"/> Sanborn maps              |
| <input type="checkbox"/> FL State Archives/photo collection        | <input type="checkbox"/> city directory   | <input type="checkbox"/> occupant/owner interview | <input type="checkbox"/> plat maps                 |
| <input type="checkbox"/> property appraiser / tax records          | <input type="checkbox"/> newspaper files  | <input type="checkbox"/> neighbor interview       | <input type="checkbox"/> Public Lands Survey (DEP) |
| <input type="checkbox"/> cultural resource survey (CRAS)           | <input type="checkbox"/> historic photos  | <input type="checkbox"/> interior inspection      | <input type="checkbox"/> HABS/HAER record search   |
| <input type="checkbox"/> other methods (describe) <u>FSFP, TAX</u> |   |   |  |

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) \_\_\_\_\_

## OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually?  yes  no  insufficient information

Appears to meet the criteria for National Register listing as part of a district?  yes  no  insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) HOUSE RETAINS ENOUGH HISTORIC FABRIC TO BE CONTRIBUTING TO A DISTRICT.

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Community planning & development 3. \_\_\_\_\_ 5. \_\_\_\_\_  
 2. \_\_\_\_\_ 4. \_\_\_\_\_ 6. \_\_\_\_\_

## DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

- 1) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_
- 2) Document type \_\_\_\_\_ Maintaining organization \_\_\_\_\_  
 Document description \_\_\_\_\_ File or accession #'s \_\_\_\_\_

## RECORDER INFORMATION

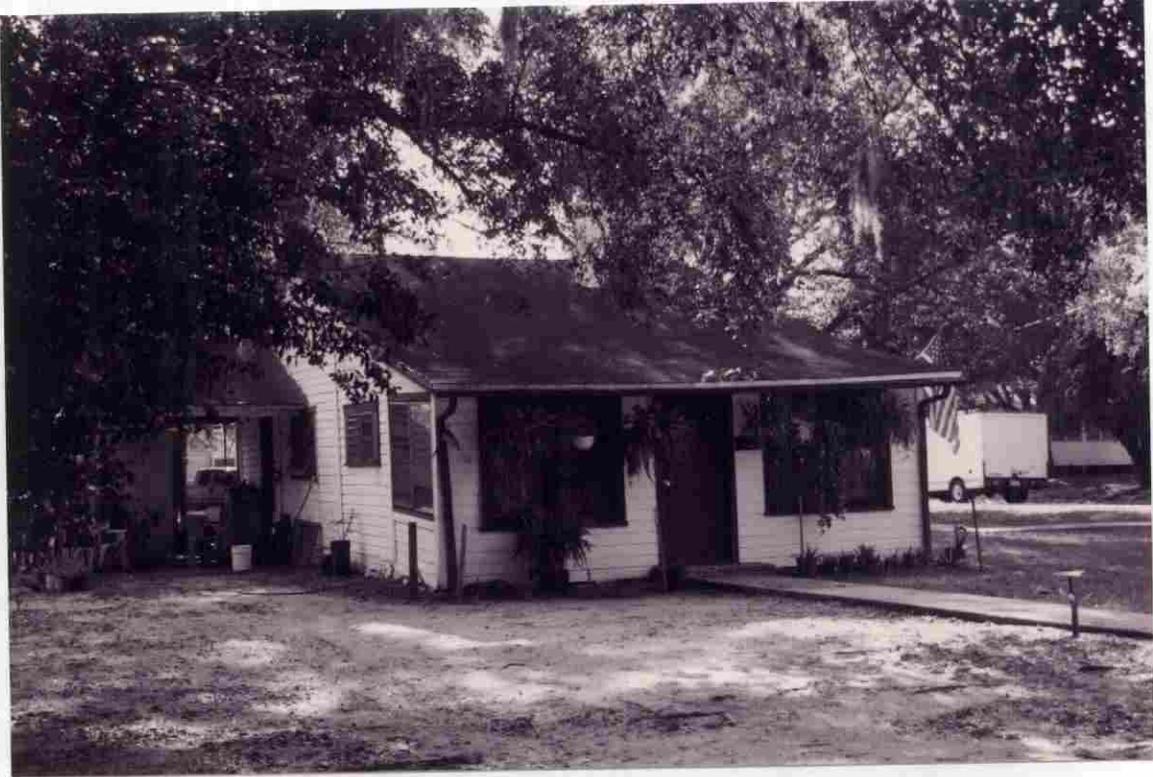
Recorder Name ANDERSON SHERRY Affiliation Other

Recorder Contact Information 22 WEST BRYAN ST. #139, SAVANNAH, GA 31401  
 (address / phone / fax / e-mail)

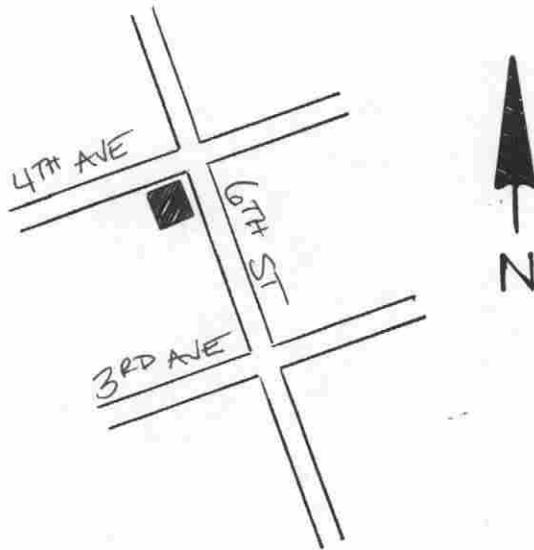
## Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE  
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).  
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff

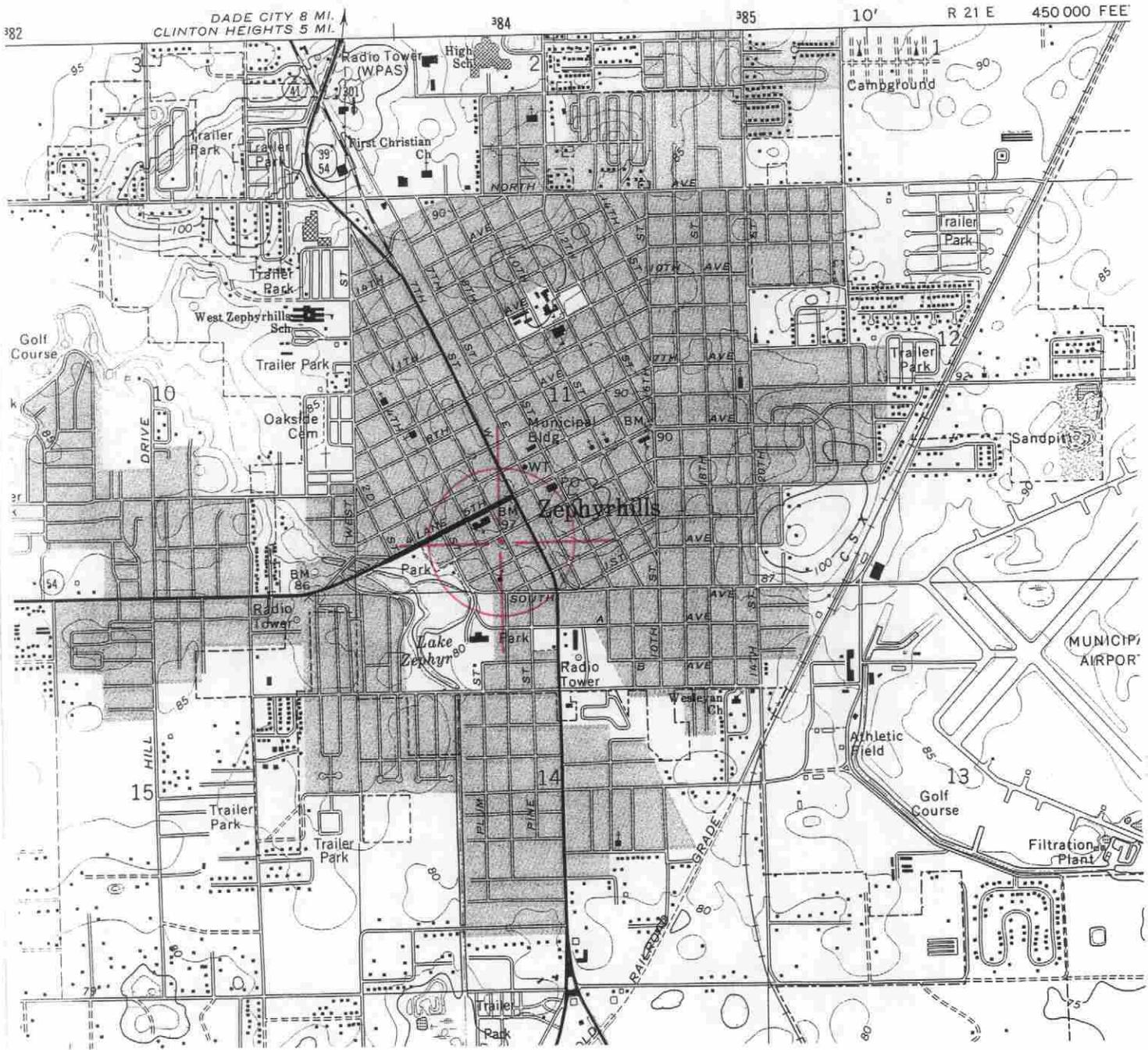
**Photograph**



**Map**



USGS Map



SCALE 1:24 000

1 MILE

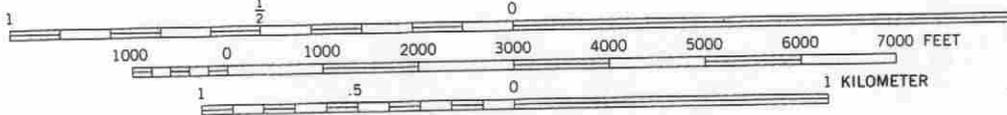
ZEPHYRHILLS, FLA.

28082-B2-TF-024

1975

PHOTOREVISED 1987

MINOR REVISION 1993



CONTOUR INTERVAL 5 FEET  
NATIONAL GEODETIC VERTICAL DATUM OF 1929